

Gratiot Life Sciences Building

13 MARCH, 2025
PW PROJECT #021552.000

Perkins&Will

The Wigley Building
410 North Michigan Ave.
Suite 1600
Chicago, IL 60611
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www.perkinswill.com

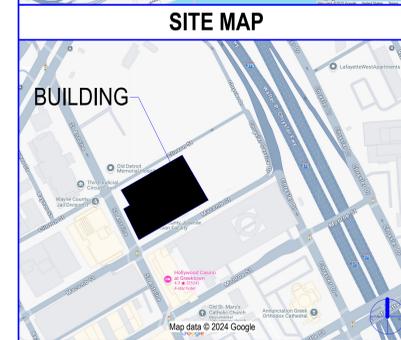
1326 ST. ANTOINE
DETROIT, MICHIGAN 48226

ISSUED FOR SCHEMATIC DESIGN



OWNER	ARCHITECT	STRUCTURAL	MEP	CIVIL	LANDSCAPE	CONTRACTOR	CITY OF DETROIT
Rock Economic Development Group 630 Woodward Ave Detroit, MI 48226 T:313.373.8700	Perkins&Will The Wigley Building 410 N. Michigan Ave., Suite 1600, Chicago, IL 60611 T:312.755.0770	WSP 30 N LaSalle Street, Suite 4200 Chicago, IL 60602 T:312.782.8150	Affiliated Engineers, Inc. (AEI) 10 S. LaSalle Street, Suite 2700 Chicago, IL 60603 T:312.977.2800	Giffels Webster 28 W. Adams Street, Suite 300 Detroit, MI 48226 T:312.962.4442	Perkins&Will 80 South 8th Street, Suite 300 Minneapolis, MN 55402 T:612.851.5000		City of Detroit DEPARTMENT: Buildings, Safety Engineering, and Environmental Coleman A Young Municipal Center, 4th Floor Ste 434, 2 Woodward Avenue, Detroit, MI 48226 T:313.224.2372

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LEGAL DESCRIPTION OF PROPERTY:
PART OF TAX ID: 03000239
LAND SITUATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, BEING ALL OF LOTS 6 AND 7 AND PART OF LOT 5, NORTHERLY OF MACOMB STREET (50 FEET WIDE) AND ALL OF LOTS 6 AND 7 AND PART OF LOT 5, SOUTHERLY OF CLINTON STREET (40 FEET WIDE), AND THE VACATED ALLEY (20 FEET WIDE) ADJOINING ABOVE SAID LOTS OF THE 'PLAT OF CHARLES MORAN FARM', AS RECORDED ON AUGUST 5, 1837 IN LIBER 10, PAGE 3 AND 5 OF CITY RECORDS, AND ALL OF LOTS 1 THROUGH 4, NORTHERLY OF MACOMB STREET (50 FEET WIDE), AND ALL OF LOTS 1 THROUGH 4, SOUTHERLY OF CLINTON STREET (40 FEET WIDE), AND THE VACATED ALLEY (20 FEET WIDE) ADJOINING ABOVE DESCRIBED LOTS OF THE 'PLAT OF THE ANTOINE BEAUBIEN FARM', AS RECORDED ON APRIL 22, 1846 IN LIBER 27, PAGE 197, OF DEEDS, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF ST. ANTOINE STREET (50 FEET WIDE) AND NORTHERLY LINE OF MACOMB STREET (50 FEET WIDE), SAID POINT ALSO BEING THE SOUTHWESTERLY CORNER OF LOT 4, NORTHERLY OF MACOMB STREET; 'PLAT OF THE ANTOINE BEAUBIEN FARM'; THENCE NORTH 27 DEGREES 03 MINUTES 47 SECONDS WEST, 230.51 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID ST. ANTOINE STREET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CLINTON STREET, SAID POINT BEING THE NORTHWESTERLY CORNER OF LOT 4, SOUTHERLY OF CLINTON STREET OF SAID 'PLAT OF THE ANTOINE BEAUBIEN FARM'; THENCE NORTH 59 DEGREES 07 MINUTES 10 SECONDS EAST, 311.20 FEET ALONG THE SOUTHERLY RIGHT OF WAY LINE OF CLINTON STREET; THENCE SOUTH 30 DEGREES 52 MINUTES 50 SECONDS EAST, 230.00 FEET TO A POINT ON NORTHERLY RIGHT OF WAY LINE OF MACOMB STREET; THENCE SOUTH 59 DEGREES 07 MINUTES 10 SECONDS WEST, 326.55 FEET ALONG THE NORTHERLY RIGHT OF WAY LINE OF MACOMB STREET TO THE POINT OF BEGINNING AND CONTAINING 1.684 ACRES.



ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

Gratiot Life Sciences Building
1326 ST. ANTOINE
DETROIT, MICHIGAN 48226

BEDROCK
Rock Economic Development Group
630 Woodward Ave
Detroit, MI 48226

KEY PLAN

ISSUE	DATE
1	14 MAR 2025

ISSUE CHART

Job Number 021552.000
TITLE

COVER

SHEET NUMBER
G00.00

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF DETROIT, AND ANY/OR OTHER AGENCIES HAVING JURISDICTION.
- UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
- 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY THEIR SCHEDULE 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
- GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- ALL ELEVATIONS ON THESE PLANS ARE ON THE CITY OF DETROIT STATE PLANE DATUM.
- THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ALL CONSTRUCTION SHALL HAVE INSPECTION PROVIDED BY THE CITY OF DETROIT. THE CONTRACTOR SHALL CONTACT THE CITY OF DETROIT 48 HOURS BEFORE THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS. DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT.
- DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC., THAT MAY OR MAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HEREIN, WHICHEVER IS MORE STRINGENT.
- ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTORATION SHALL BE PERFORMED WITH SURFACE AND BASE MATERIALS MATCHING EITHER THE EXISTING MATERIALS IN QUALITY AND THICKNESS, PER MINIMUM REQUIREMENTS, OR PER THE FOLLOWING, WHICHEVER IS MORE STRINGENT:
 - ASPHALT ROADWAYS - 4" ASPHALT MDOT 1100T-20 AA
 - ASPHALT DRIVEWAYS - 3" ASPHALT MDOT 1100T-36 A
 - GRAVEL ROAD AND DRIVEWAYS - 8" MDOT 22A GRAVEL
 - CONCRETE ROADS - 8" 3500 PSI CONCRETE
 - CONCRETE DRIVEWAYS - 8" 3500 PSI CONCRETE
- ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.
- THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO THE CONTRACT.

DEMOLITION NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL GROUND, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTOR'S EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
- THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.
- ALL BULK-HEADING AND/OR SEWER PIPE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
- STREET SIGNS IN THE WAY OF CONSTRUCTION WILL BE REMOVED AND RESET IMMEDIATELY IN A TEMPORARY LOCATION, AS APPROVED BY ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
- ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY (INCLUDING BUILDINGS AND FOUNDATIONS) THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SAWCUTTING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.

UTILITY NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS
 - ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
- ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.
- THE COST OF ALL TREE, STUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.
- A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
- THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4 INCH DIAMETER CRUSHED STONE.
- THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.
- ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDED CORRECTIVE RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.
- CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
- NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
- ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 8" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.

PAVING AND GRADING NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
- ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
- THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y.D.) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
- THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.
- ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557.
- NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.
- PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.
- BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
- ALL BARRIER FREE RAMPS TO BE A.D.A. COMPLIANT.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
 - FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS
 - MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING (± 2%)
 - SIDEWALK CROSS SLOPE ±2% UNLESS OTHERWISE NOTED (EXCLUDING RAMPS)
 - PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS
 - LAWN AREAS ± 1% MINIMUM TO 25% (BERMS) MAXIMUM
- ALL PROPOSED GRADES ARE AT THE GUTTER UNLESS OTHERWISE NOTED. SEE DETAILS FOR FACE OF CURB, TOP OF CURB AND ASPHALT ADJUSTMENTS.
- REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - GAS, ELECTRIC AND COMMUNICATION SERVICES AND LIGHTING DETAILS AND COORDINATION.
 - ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
- PRIOR TO THE PLACEMENT OF ANY BASE ASPHALT OR LEVELING COURSE, THE CURBS SHALL BE PARTIALLY BACKFILLED AND THE SUB-GRADE SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL SIDEWALK AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH JURISDICTION.

EROSION CONTROL NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, ENVIRONMENTAL SERVICES DIVISION.
- ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS)
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
- THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING: INSPECTION, RESTORATION AND RECORD KEEPING REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
- CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
- PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
- IF FOR ANY REASON PERMANENT STABILIZATION CAN NOT BE PROVIDED WITHIN 15 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 20) FOR ALL AREAS TO BE SEEDED.
- TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLANKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGENCY WITH JURISDICTION.
- ALL DEWATERING SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
- THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED.
- SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SAGGING, OR SOIL HAS REACHED ONE HALF OF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FENCE SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
- MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME FOR EVIDENCE THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SEDIMENT DROPPED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
- SEDIMENT INLET FILTERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.

EROSION CONTROL SEQUENCE

- INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON-SITE CONTAINMENT.
- INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
- ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
- INSTALL SANITARY SEWER AS SHOWN ON PLANS.
- INSTALL WATER MAIN AS SHOWN ON PLANS.
- INSTALL OTHER UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) AND/OR ALL NEEDED CONDUITS AND SLEEVES.
- INSTALL PAVEMENT BACKFILL AND SEED & MULCH ALL DISTURBED AREAS.
- CLEAR ALL ACCUMULATED SILT AND REMOVE ALL EROSION CONTROL DEVICES.
- INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.

DWSD STANDARD NOTES

- OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT. THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE WITH THE CURRENT DWSD STANDARD SPECIFICATIONS AND DETAILS.
- DWSD INSPECTION IS REQUIRED WHILE WORK IS UNCOVERED

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Detroit, MI 48226
STRUCTURAL

MSP

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Chicago, IL 60602

MEP

Affiliated Engineers, Inc. (AEI)
10 S. LaSalle Street, Suite 2700
Chicago, IL 60603
LANDSCAPE

Perkins&Will

80 South 8th Street, Suite 300
Minneapolis, MN 55402



PROJECT

Gratiot Life Sciences
Building

1326 ST. ANTOINE
DETROIT, MICHIGAN 48226

 BEDROCK

Rock Economic
Development Group

630 Woodward Ave
Detroit, MI 48226

KEY PLAN

ISSUE CHART

NO.	DESCRIPTION	DATE
3	ISSUED FOR SITE PLAN APPROVAL	16MAY2025
2	ISSUED FOR SCHEMATIC DESIGN	26FEB2025
1	50% SCHEMATIC DESIGN	26FEB2025
ISSUED	ISSUE	DATE

Job Number 021552.000

TITLE

GENERAL NOTES

SHEET NUMBER

C-100

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LEGEND - EXISTING

SECTION LINE	○ SAN. MH	○ GAS METER	★ MISC. TOPO. SHOT
E/ PAVEMENT	○ SAN. CLEAN OUT	○ GAS RISER	▲ SURVEY CONTROL POINT
CURB	○ SAN. RISER	○ GAS VALVE	● FOUND IRON
E/ GRAVEL	○ SAN. PUMP STATION	○ GAS MH	● FOUND NAIL
CL. ROAD	○ COMB. MH	○ TELE. RISER	● F. CUT CROSS
E/ WALK	○ GATE VALVE	○ TELE. MH	● SECTION COR.
RAILROAD	○ HYDRANT	○ TELE. CROSS BOX	● FENCE POST
E/ BRICK	○ WATER VALVE	○ CABLE RISER	● BENCHMARK
MISC. LINE	○ WATER METER	○ PAY PHONE	● FOUND PIPE
FENCE	○ POST INDICATOR VALVE	○ MANHOLE	● FOUND MON.
GUARD RAIL	○ WELL HEAD	○ SIGN	○ ASPH.
WALL	○ FDC CONNECTION	○ PROF. POST/GUARD POST	○ CONCRETE
BLDG. LINE	○ IRRIGATION CONTROL BOX	○ GUY	○ A.C. AIR CONDITIONER
OVERHEAD WRES	○ STORM MH	○ DECIDUOUS TREE	○ GUARD POST
RAILING	○ CATCH BASIN	○ CONIFEROUS TREE	○ CHAIN-LINK FENCE
OVERHANG LINE	○ BEEHIVE CB	○ DEAD TREE	○ D.L. DOOR LEDGE
T/ BANK	○ CULVERT E.S.	○ UTILITY FLAG	○ F.F. FINISHED FLOOR
B/ BANK	○ ROOF/DOWN SPOUT	○ BLDG. CORNER (FIELD LOCATED)	○ O.H. OVERHANG
CL. DITCH/STREAM	○ FDC CONNECTION	○ HANDICAP PARKING	○ F.I. FOUND IRON
SHRUB LINE	○ IRRIGATION CONTROL BOX	○ WELAND FLAG	○ S.I. SET IRON
TREE LINE	○ STORM LINE	○ ROUND CB	○ F.I.P. FOUND IRON PIPE
WATER EDGE	○ SAN. LINE	○ BUSH/SHRUB	○ M. MEASURED
WELAND LINE	○ GAS LINE	○ UTILITY POLE	○ R. RECORD
STORM LINE	○ WATER LINE	○ ELEC. TRANS.	○ F.M. FOUND MONUMENT
SAN. LINE	○ GAS LINE	○ AIR CONDITIONER	○ S.N. SET NAIL
W. WATER LINE	○ UG ELEC. LINE	○ ELEC. MH	○ CMP CORRUGATED METAL PIPE
GAS LINE	○ UG UG. LINE	○ ELEC. METER	○ RCP REINFORCED CONCRETE PIPE
UG ELEC. LINE	○ UG TELE. LINE	○ ELEC. RISER	○ G.L. GROUND LIGHT
UG TELE. LINE	○ UG CABLE TV LINE	○ SOIL BORING	
PAINT STRIPE	○ COMBINED SEWER	○ MONITORING WELL	
PLD. PLD. LINE	○ PLD. LINE	○ LAWN RING HEAD	
STEAM LINE	○ STEAM LINE	○ CENTURINE R.R. TRACK	
ELECTRIC OVERHEAD	○ TELEPHONE OVERHEAD		

UTILITY STATEMENT

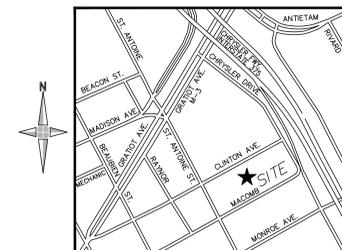
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

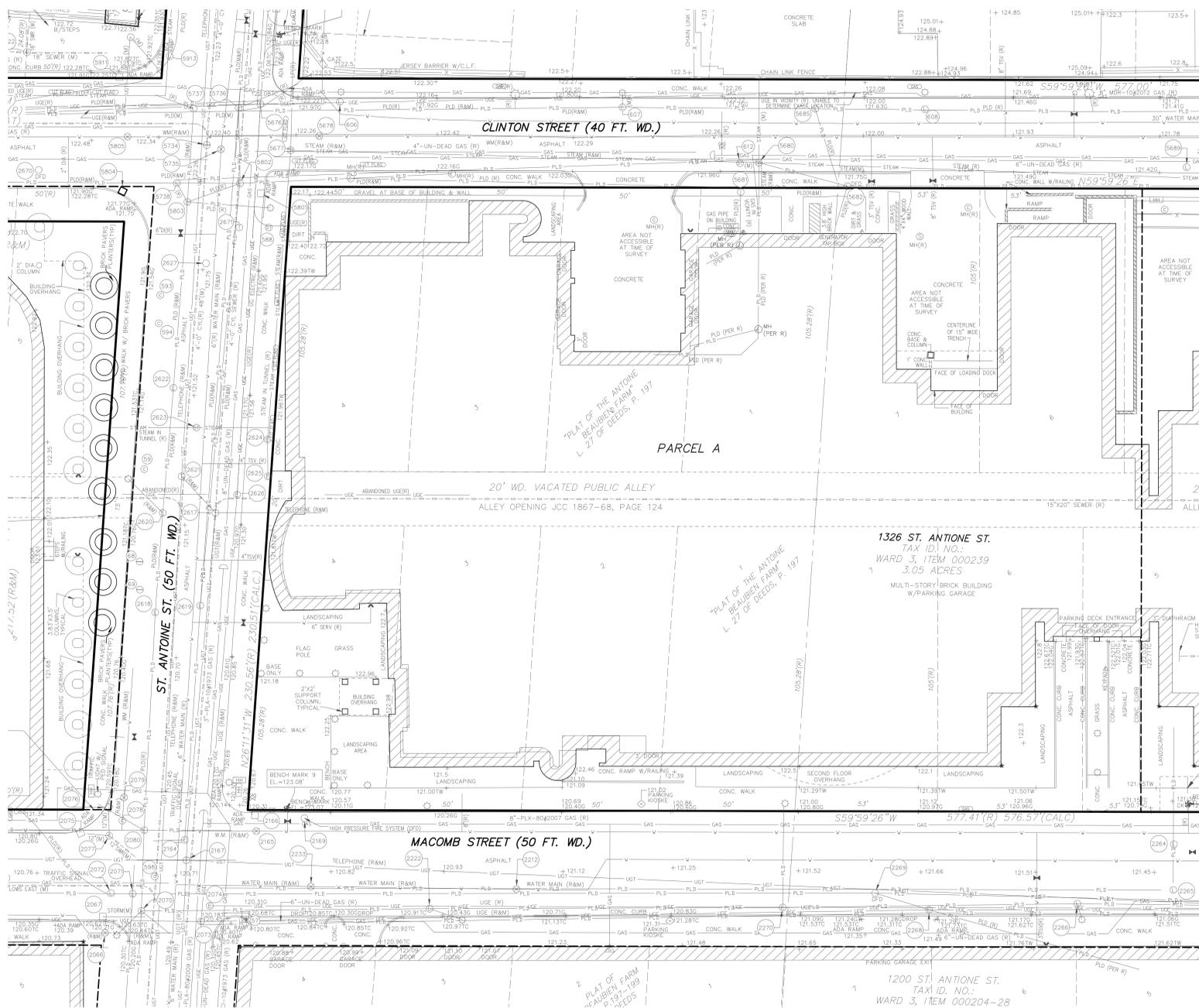
PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

NOTES:

- CABLE TV UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- AT&T UTILITY MAPS PROVIDED BY THE UTILITY COMPANY ARE SCHEMATICS. EVERY EFFORT WAS MADE TO ACCURATELY INTERPRET THE DRAWINGS. THE LOCATIONS OF THE UNDERGROUND LINES ARE APPROXIMATE WHERE NOT FIELD LOCATED, AND REPRESENTED IN THIS DRAWING ONLY WHEN GENERAL VICINITY COULD BE DETERMINED. PLEASE CALL MISS DIG PRIOR TO ANY CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- MEASURED BEARINGS BASED ON THE CITY OF DETROIT HORIZONTAL DATUM. RECORD BEARINGS BASED ON PLATS OF RECORD. RECORD DISTANCES BASED ON PLATS OF RECORD AND TAX DESCRIPTIONS.
- NO BOUNDARY SURVEY WAS PERFORMED BY GIFFELS-WEBSTER ENGINEERS, INC. AT TIME OF SURVEY.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.



LOCATION MAP (NOT TO SCALE)



BENCH MARK DATA

(CITY OF DETROIT) DATUM

SITE BENCH MARK NO. 1
ARROW ON HYDRANT (1995) ON THE SOUTHWEST CORNER OF GRATIOT AVENUE AND THE I-375 SERVICE DRIVE (SOUTHBOUND).
ELEVATION=126.02'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 2
SET ARROW ON HYDRANT (2005) ON THE WEST SIDE OF THE I-375 SERVICE DRIVE (SOUTHBOUND); +/- 35' NORTH OF CLINTON STREET.
ELEVATION=123.08'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 3
SET ARROW ON HYDRANT (2015) ON THE NORTHWEST CORNER OF MACOMB STREET AND THE SOUTHBOUND I-375 SERVICE DRIVE.
ELEVATION=122.85'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 4
SET ARROW ON HYDRANT (2005) ON THE SOUTH SIDE OF MACOMB STREET; +/- 225' WEST OF ST. ANTOINE STREET.
ELEVATION=124.40'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 5
ARROW ON HYDRANT (2002) LOCATED AT THE SOUTHWEST CORNER OF BEAUBIEN STREET AND CLINTON STREET.
ELEVATION=125.88'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 6
ARROW ON HYDRANT (1976) ON THE SOUTHWEST CORNER OF ST. ANTOINE STREET AND GRATIOT AVENUE.
ELEVATION=124.71'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 7
ARROW ON HYDRANT (2005) ON THE NORTHEAST CORNER OF ST. ANTOINE STREET AND CLINTON STREET.
ELEVATION=124.73'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 8
SET ARROW ON HYDRANT (1998) ON THE NORTH SIDE OF MACOMB STREET, +/- 232' WEST OF THE I-375 SERVICE DRIVE (SOUTHBOUND).
ELEVATION=123.56'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 9
SET ARROW ON HYDRANT (2005) ON THE NORTHEAST CORNER OF ST. ANTOINE STREET AND MACOMB STREET.
ELEVATION=123.08'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 10
SET ARROW ON HYDRANT (1925) ON THE NORTHEAST CORNER OF BEAUBIEN STREET AND MACOMB STREET.
ELEVATION=125.36'
(SHOWN GRAPHICALLY)

PARCEL A DESCRIPTION

PART OF TAX ID: 03000239

LAND SITUATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, BEING ALL OF LOTS 6 AND 7 AND PART OF LOT 5, NORTHERLY OF MACOMB STREET (50 FEET WIDE) AND ALL OF LOTS 6 AND 7 AND PART OF LOT 5, SOUTHERLY OF CLINTON STREET (40 FEET WIDE), AND THE VACATED ALLEY (20 FEET WIDE) ADJOINING ABOVE SAID LOTS OF THE "PLAT OF CHARLES MORAN FARM", AS RECORDED ON AUGUST 5, 1837 IN LIBER 10, PAGE 3 AND 5 OF CITY RECORDS, AND ALL OF LOTS 1 THROUGH 4, NORTHERLY OF MACOMB STREET (50 FEET WIDE), AND ALL OF LOTS 1 THROUGH 4, SOUTHERLY OF CLINTON STREET (40 FEET WIDE), AND THE VACATED ALLEY (20 FEET WIDE) ADJOINING ABOVE DESCRIBED LOTS OF THE "PLAT OF THE ANTOINE BEAUBIEN FARM", AS RECORDED ON APRIL 22, 1846 IN LIBER 27, PAGE 197, OF DEEDS, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF ST. ANTOINE STREET (50 FEET WIDE) AND NORTHERLY LINE OF MACOMB STREET (50 FEET WIDE), SAID POINT ALSO BEING THE SOUTHWESTERLY CORNER OF LOT 4, NORTHERLY OF MACOMB STREET, "PLAT OF THE ANTOINE BEAUBIEN FARM"; THENCE NORTH 27 DEGREES 03 MINUTES 47 SECONDS WEST, 230.51 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID ST. ANTOINE STREET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CLINTON STREET, SAID POINT BEING THE NORTHEASTERLY CORNER OF LOT 4, SOUTHERLY OF CLINTON STREET OF SAID "PLAT OF THE ANTOINE BEAUBIEN FARM"; THENCE NORTH 59 DEGREES 07 MINUTES 10 SECONDS EAST, 311.20 FEET ALONG THE SOUTHERLY RIGHT OF WAY LINE OF CLINTON STREET; THENCE SOUTH 30 DEGREES 52 MINUTES 50 SECONDS EAST, 230.00 FEET TO A POINT ON NORTHERLY RIGHT OF WAY LINE OF MACOMB STREET; THENCE SOUTH 59 DEGREES 07 MINUTES 10 SECONDS WEST, 326.55 FEET ALONG THE NORTHERLY RIGHT OF WAY LINE OF MACOMB STREET TO THE POINT OF BEGINNING AND CONTAINING 1.684 ACRES.

Perkins&Will

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CONSULTANTS

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MEP: Affiliated Engineers, Inc. (AEI)
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Chicago, IL 60603

LANDSCAPE: Perkins&Will
80 South 8th Street, Suite 300
Minneapolis, MN 55402



ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

Gratiot Life Sciences Building

1326 ST. ANTOINE
DETROIT, MICHIGAN 48226

BEDROCK

Rock Economic Development Group

630 Woodward Ave
Detroit, MI 48226

KEY PLAN

ISSUE CHART

3	ISSUED FOR SITE PLAN APPROVAL	16MARCH2025
2	80% FOR SCHEMATIC DESIGN	28FEBRUARY2025
1	30% SCHEMATIC DESIGN	28FEBRUARY2025
ISSUED	ISSUE	DATE
Job Number		021552.000

EXISTING CONDITIONS

SHEET NUMBER

C-200

Table with columns: STRUCTURE, TYPE, SIZE OF PIPE, RIM, DROP, INVERT, DIRECTION, COMMENTS. Contains detailed data for various structures like public lighting manholes, catch basins, and manholes.

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PROJECT

Gratiot Life Sciences Building

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BEDROCK

Rock Economic Development Group

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Detroit, MI 48226

KEY PLAN

ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

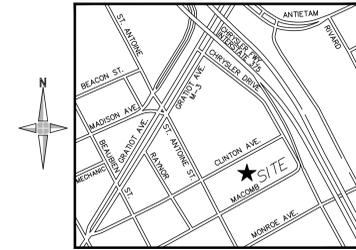
ISSUE CHART

Table with columns: No., Description, Date. Shows revision history for the site plan approval.

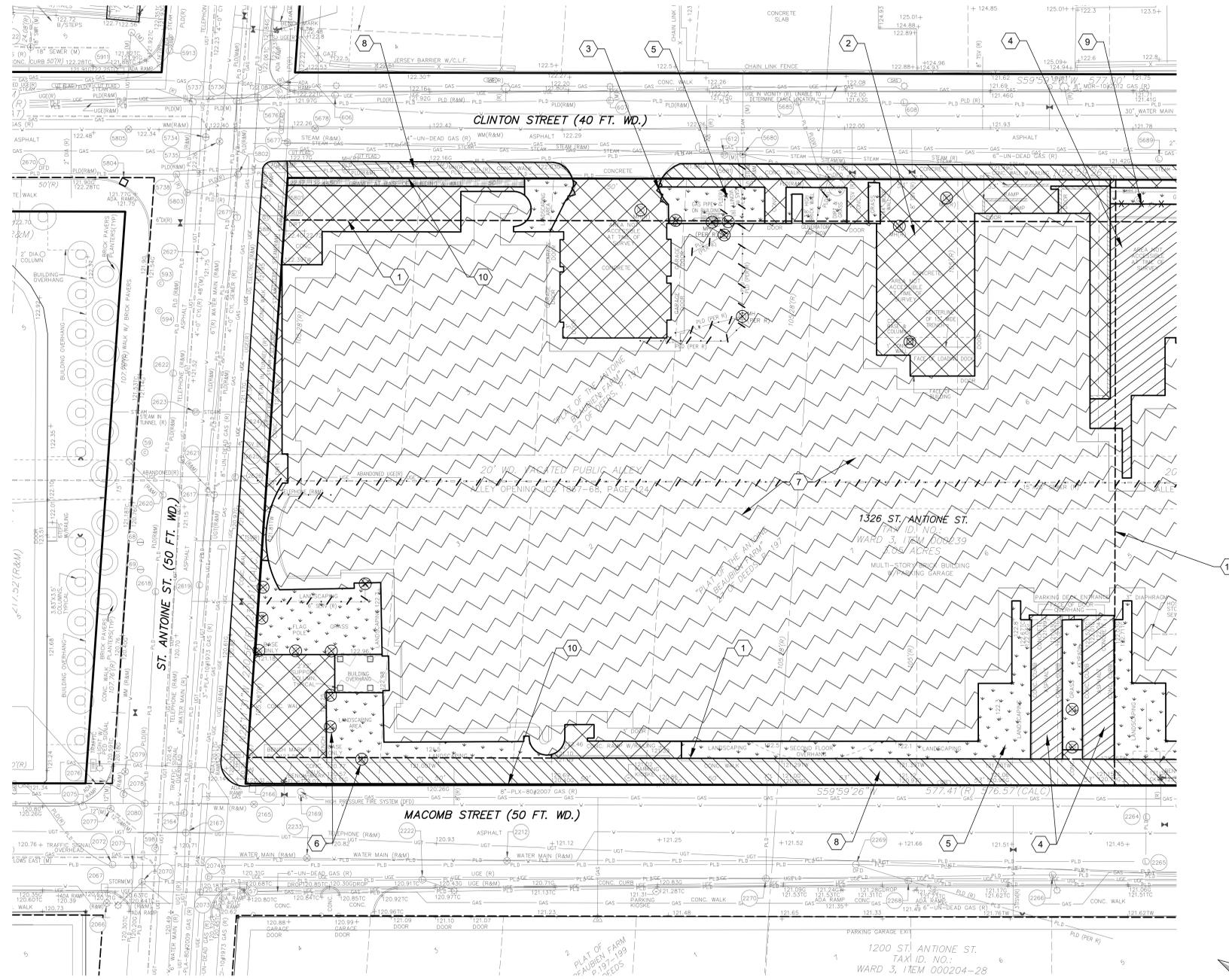
SCHEDULE OF STRUCTURES

SHEET NUMBER

C-202



LOCATION MAP
(NOT TO SCALE)



DEMOLITION PLAN - LEGEND

- REMOVE STEEL FENCE X · X · X · X ·
- REMOVE UTILITY LINE - · - · - · - · - ·
- REMOVE/DEMOLISH CURB AND GUTTER ~~~~~
- REMOVE/DEMOLISH UTILITY STRUCTURE ⊗
- REMOVE CONCRETE PAVEMENT [Hatched pattern]
- DEMOLISH EXISTING STRUCTURE [Hatched pattern]
- REMOVE ASPHALT PAVEMENT [Hatched pattern]
- REMOVE LANDSCAPE [Hatched pattern]
- REMOVE GRAVEL [Hatched pattern]
- REMOVAL BY OTHERS [Hatched pattern]

DEMOLITION PLAN - KEYNOTES

- 1 EFFECTIVE ROW
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
- 3 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
- 4 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
- 5 REMOVE EXISTING LANDSCAPE, TYP
- 6 REMOVE EXISTING UTILITY STRUCTURE, TYP
- 7 BUILDING DEMOLISHED BY OTHERS
- 8 REMOVAL FOR STREETSCAPE IMPROVEMENT BY OTHERS
- 9 REMOVE EXISTING STEEL FENCE
- 10 PROPERTY LINE



PROJECT

Gratiot Life Sciences Building
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DETROIT, MICHIGAN 48226

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Detroit, MI 48226

KEY PLAN

ISSUE CHART

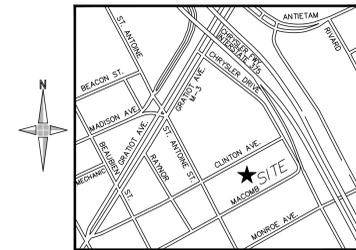
3	ISSUED FOR SITE PLAN APPROVAL	10/04/2025
2	ISSUED FOR SCHEMATIC DESIGN	08/04/2025
1	90% SCHEMATIC DESIGN	08/04/2025
0	ISSUE	08/04/2025

Job Number 021552.000
TITLE

DEMOLITION PLAN

SHEET NUMBER

C-300



LOCATION MAP
(NOT TO SCALE)

GRADING PLAN - GRADING LEGEND

	EXISTING	PROPOSED
SPOT ELEVATION	+150.23	X[XXXX]
FF		FINISHED FLOOR
FG		FINISHED GRADE
TWALL		TOP OF WALL
TS		TOP OF STEP
TC		TOP OF CURB
G		GUTTER
R		ADA RAMP, SLOPE $\leq 8.33\%$
L		ADA LANDING, SLOPE $\leq 2\%$
RXXX'		RADIUS OF A CURVE, MEASURED FROM FACE OF CURB
M / MATCH		MATCH EXISTING GRADE
PROPOSED GRADES BY OTHERS		(122.09)
ROADWAY, CURB AND SIDEWALK IMPROVEMENT BY OTHERS		[Symbol]
4" CONCRETE SIDEWALK PAVEMENT		[Symbol]
PAVERS		[Symbol]
LANDSCAPE		[Symbol]



PROJECT

GRADING PLAN - NOTES

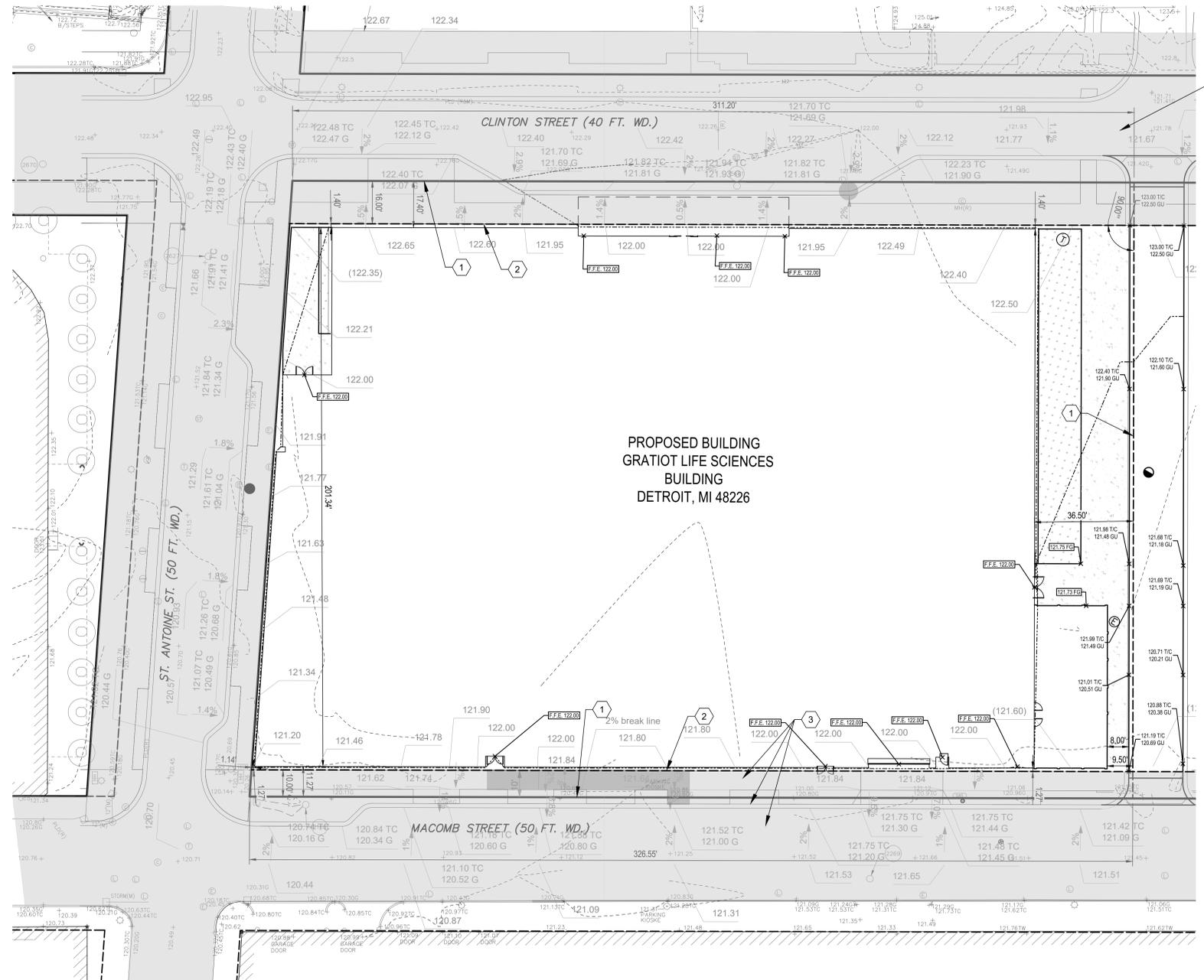
- SEE SHEET C-100 FOR ADDITIONAL PROJECT NOTES AND INFORMATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY CONFLICT OR DISCREPANCY IS IDENTIFIED WITH NEW FINISHED GRADES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY CONFLICT OCCURS WHERE NEW FINISHED GRADES MATCH OR TIE-INTO EXISTING GRADES.
- PAVEMENT SLOPE OF ALL ADA ACCESSIBLE ROUTES SHALL BE IN ACCORDANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN.
- THE CROSS SLOPE OF ALL ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 1 IN 50 (2%) AND THE RUNNING SLOPE OF ALL ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 1 IN 20 (5%).
- THE CONTRACTOR SHALL PROVIDE A MINIMUM 5' LANDING AT THE TOP AND BOTTOM OF ALL DOORS, STAIRS, ADA RAMPS AND FENCE GATES IN ACCORDANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN. THE LANDING SLOPE SHALL NOT EXCEED 1 IN 50 (2%) IN ALL DIRECTIONS.
- ALL NEW PAVING AND STREET REPAIRS WITHIN THE RIGHT-OF-WAY SHALL COMPLY WITH CITY OF DETROIT STANDARDS.
- ALL PAVEMENT AND GRASSY AREAS SHALL DIRECT RUNOFF TO CATCH BASIN OR DRAIN INLET STRUCTURES WITHOUT ANY PONDING OR BIRDBATHS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY PONDING OR BIRDBATHS SHALL OCCUR.
- THE CASTING OF ALL EXISTING STRUCTURES INVOLVED IN THE SCOPE OF CIVIL WORKS SHALL BE FIELD ADJUSTED AND FLUSHED WITH THE FINISHED GRADE OF NEW PAVING.
- THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN DETAILING ALL JOINTS BASED ON ACI GUIDELINES FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO PLACING CONCRETE.

GRADING PLAN - KEY NOTES

- 1 PROPERTY LINE
- 2 EFFECTIVE R.O.W.
- 3 ROADWAY, CURB AND SIDEWALK GRADING BY OTHERS, TYP.

NOTE

FINISHED FLOOR ELEVATIONS WITHIN THE BUILDING FOOTPRINT:
F.F.E CIVIL - 122.00' (CITY OF DETROIT DATUM) = F.F.E ARCH - 100.00'



PROPOSED BUILDING
GRATIOT LIFE SCIENCES
BUILDING
DETROIT, MI 48226

ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

Gratiot Life Sciences Building

1326 ST. ANTOINE
DETROIT, MICHIGAN 48226

BEDROCK

Rock Economic Development Group

630 Woodward Ave
Detroit, MI 48226

KEY PLAN

ISSUE CHART

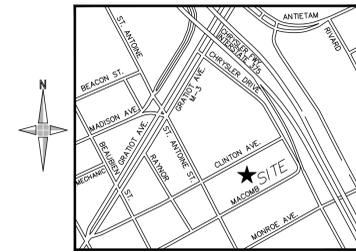
NO.	DESCRIPTION	DATE
3	ISSUED FOR SITE PLAN APPROVAL	14MARCH2025
2	ISSUED FOR SCHEMATIC DESIGN	28FEBRUARY2025
1	50% SCHEMATIC DESIGN	DATE

Job Number 021552.000
TITLE

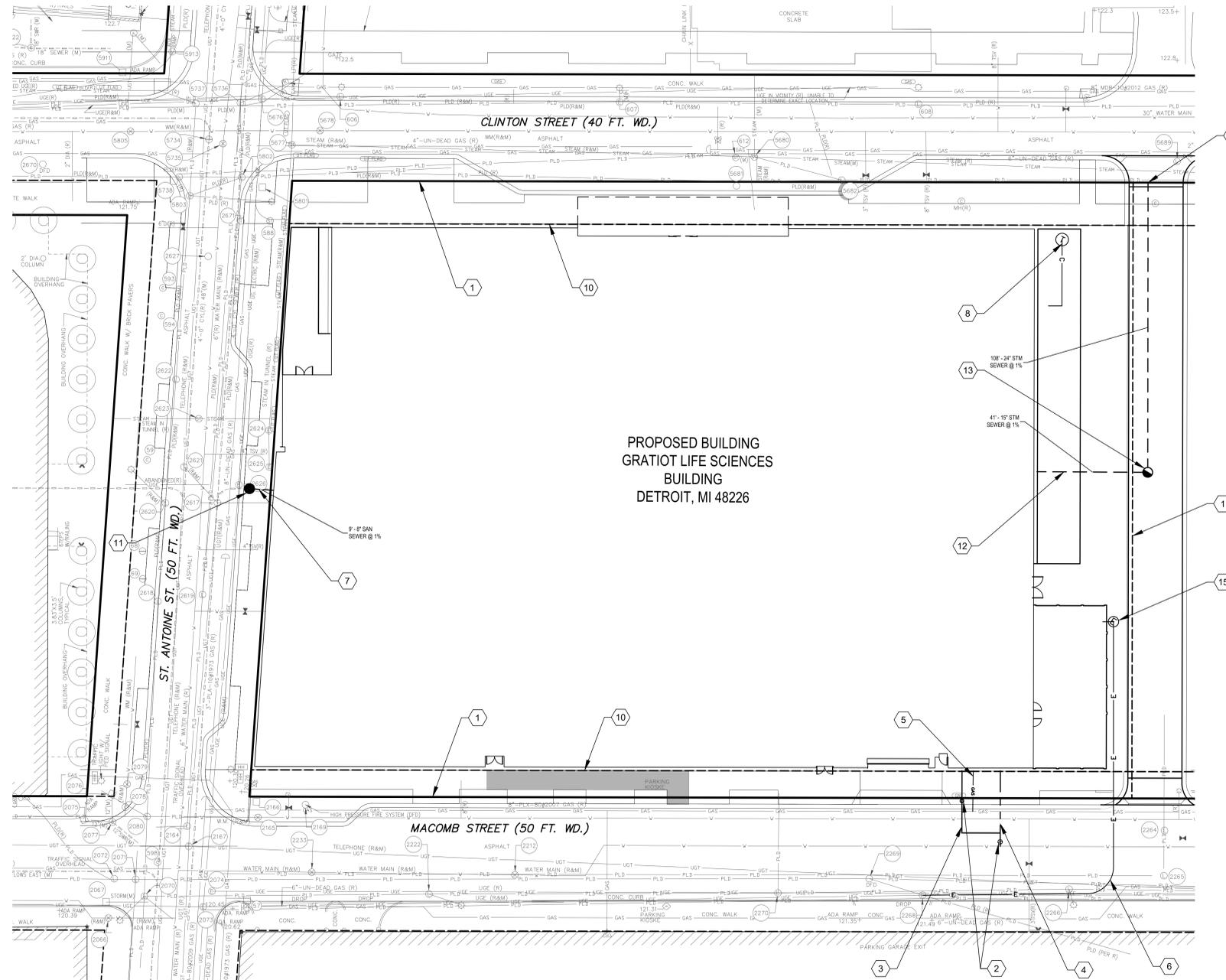
GRADING PLAN

SHEET NUMBER

C-600



LOCATION MAP
(NOT TO SCALE)



UTILITY PLAN - LEGEND

- STORM SEWER
- SANITARY SEWER
- PERFORATED DRAIN
- WATER SERVICE
- UNDERGROUND ELECTRIC
- GAS SERVICE
- COMMUNICATIONS
- FIRE HYDRANT
- STOP BOX AND VALVE
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- SANITARY SEWER DRAIN
- STORM CLEANOUT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM SEWER CLEANOUT
- PRIVATE DATA MANHOLE
- PROPOSED ELECTRICAL MANHOLE

UTILITY PLAN - KEY NOTES

- 1 PROPERTY LINE
- 2 PROPOSED STOP BOX AND VALVE PER DWSO STANDARD AND SPECIFICATIONS
- 3 PROPOSED 4" DOMESTIC SERVICE
- 4 PROPOSED 8" FIRE SUPPRESSION
- 5 6" GAS SERVICE
- 6 ELECTRICAL SERVICE AND METER TO BE COORDINATED WITH DTE
- 7 PROPOSED SANITARY SEWER LEAD
- 8 PROPOSED PRIVATE DATA CONDUIT AND MANHOLE BY OTHERS
- 9 STORM SEWER BY OTHERS
- 10 EFFECTIVE ROW
- 11 PROPOSED SANITARY MANHOLE OVER 15'X20' SEWER, PER DWSO STANDARDS AND SPECIFICATIONS
- 12 PROPOSED STORM SEWER LEAD
- 13 PROPOSED STORM MANHOLE
- 14 CONNECT TO OFF-SITE STORM SEWER AND STORM WATER MANAGEMENT SYSTEM, BY OTHERS
- 15 PROPOSED ELECTRICAL MANHOLE TO BE COORDINATED WITH DTE



PROJECT

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Job Number	021552.000	
TITLE		

UTILITY PLAN

SHEET NUMBER

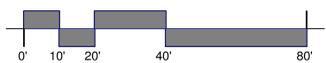
C-700

MATERIAL SCHEDULE

MATERIAL CODE	MATERIAL	NOTES
P1	CAST IN PLACE CONCRETE PAVING	EXPOSED AGGREGATE FINISH, SAW CUT JOINTS. SEE CIVIL FOR ASSEMBLY
PA	PLANTING AREA	SEE PLANTING PLAN



1 LANDSCAPE SITE PLAN PD
SCALE 1" = 20'-0"



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Rock Economic Development Group

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ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

KEY PLAN

ISSUE CHART

ISSUE	DATE
1 ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025

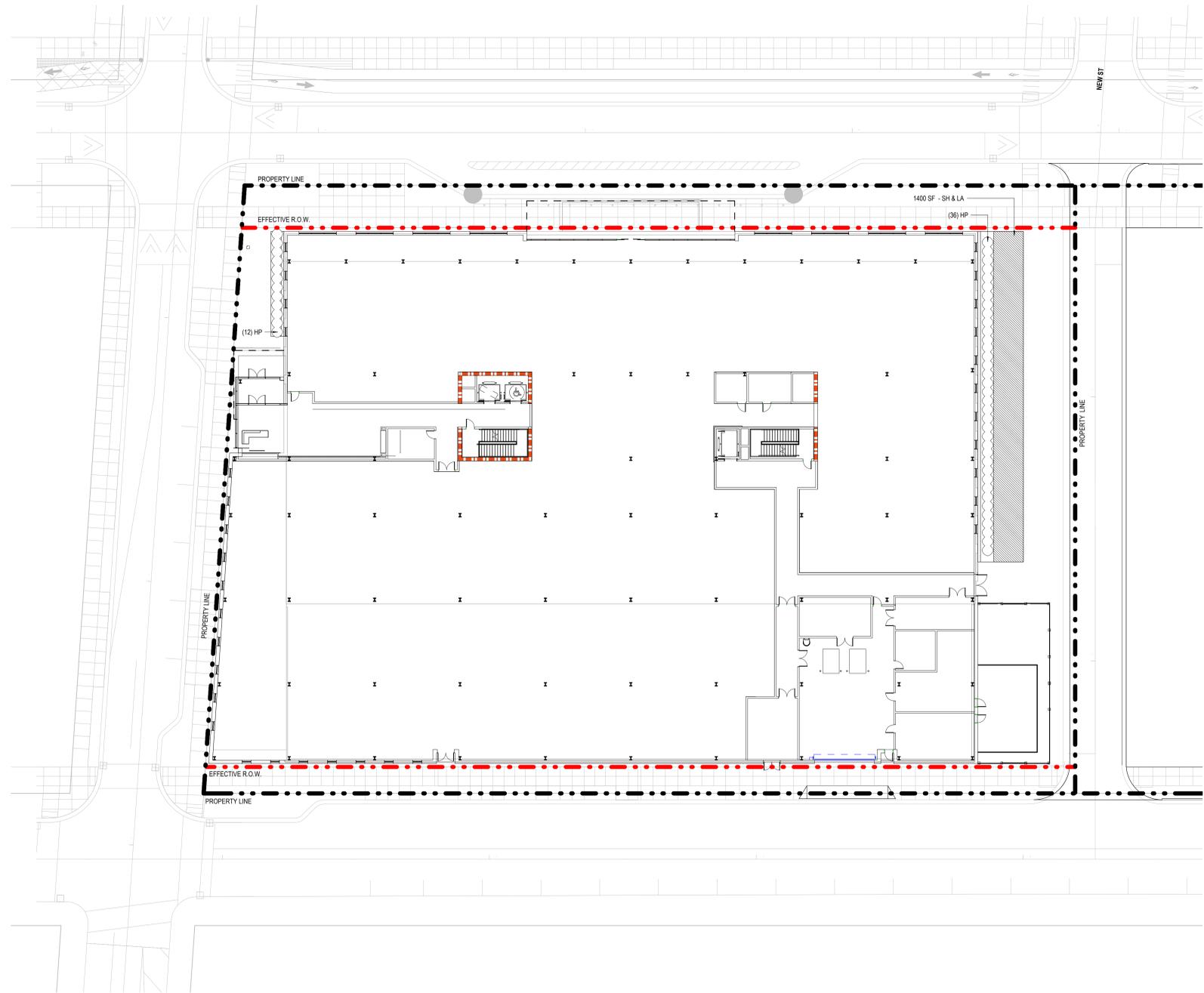
Job Number 021552.000
TITLE

SITE PLAN

SHEET NUMBER

L01.00

PLANT SCHEDULE						
CODE	LATIN NAME	COMMON NAME	QUANTITY	SIZE	NOTES	IRRIGATION TYPE
SHRUBS						
HP	<i>Hypericum prolificum</i>	Shrubby St. Johns Wort	38	3 GALLON	36" OC SPACING	DRIP IRRIGATION
PERENNIALS			1500 SF			
SH	<i>Sporobolus heterolepis</i>	Prairie Dropseed	75%	1 GALLON	24" OC SPACING	DRIP IRRIGATION
LA	<i>Liatris aspera</i>	Rough Blazing Star	25%	1 GALLON	SPACING VARIES	DRIP IRRIGATION



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ISSUE CHART

ISSUE	ISSUED FOR SITE PLAN APPROVAL	DATE
1	ISSUED FOR SITE PLAN APPROVAL	14MAR2025

Job Number 021552.000
TITLE

PLANTING PLAN

SHEET NUMBER

L01.02



ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

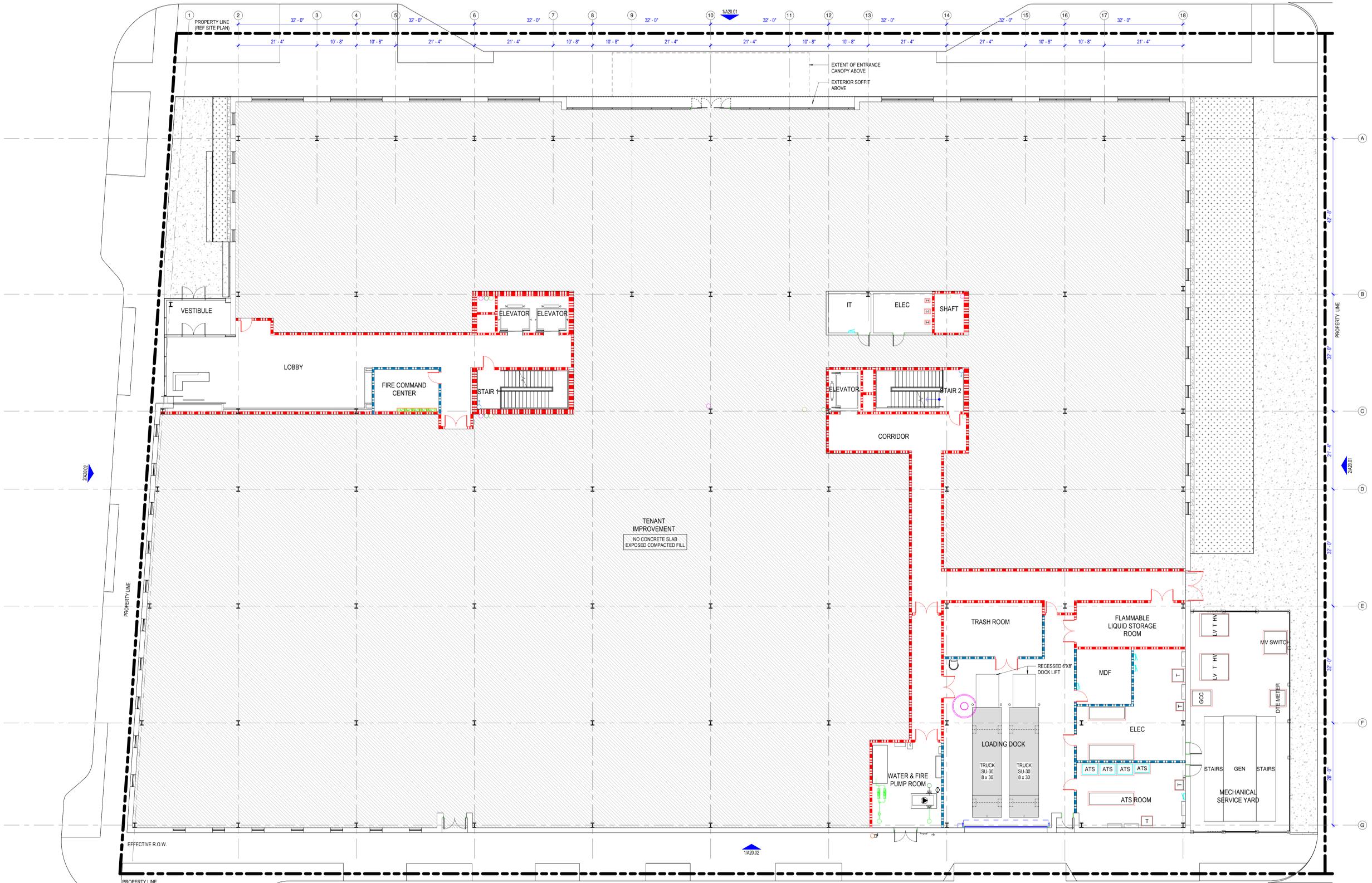
ISSUE	DATE
T	ISSUED FOR SITE PLAN APPROVAL 14 MAR 2025
S	ISSUE

Job Number 021552.000
TITLE

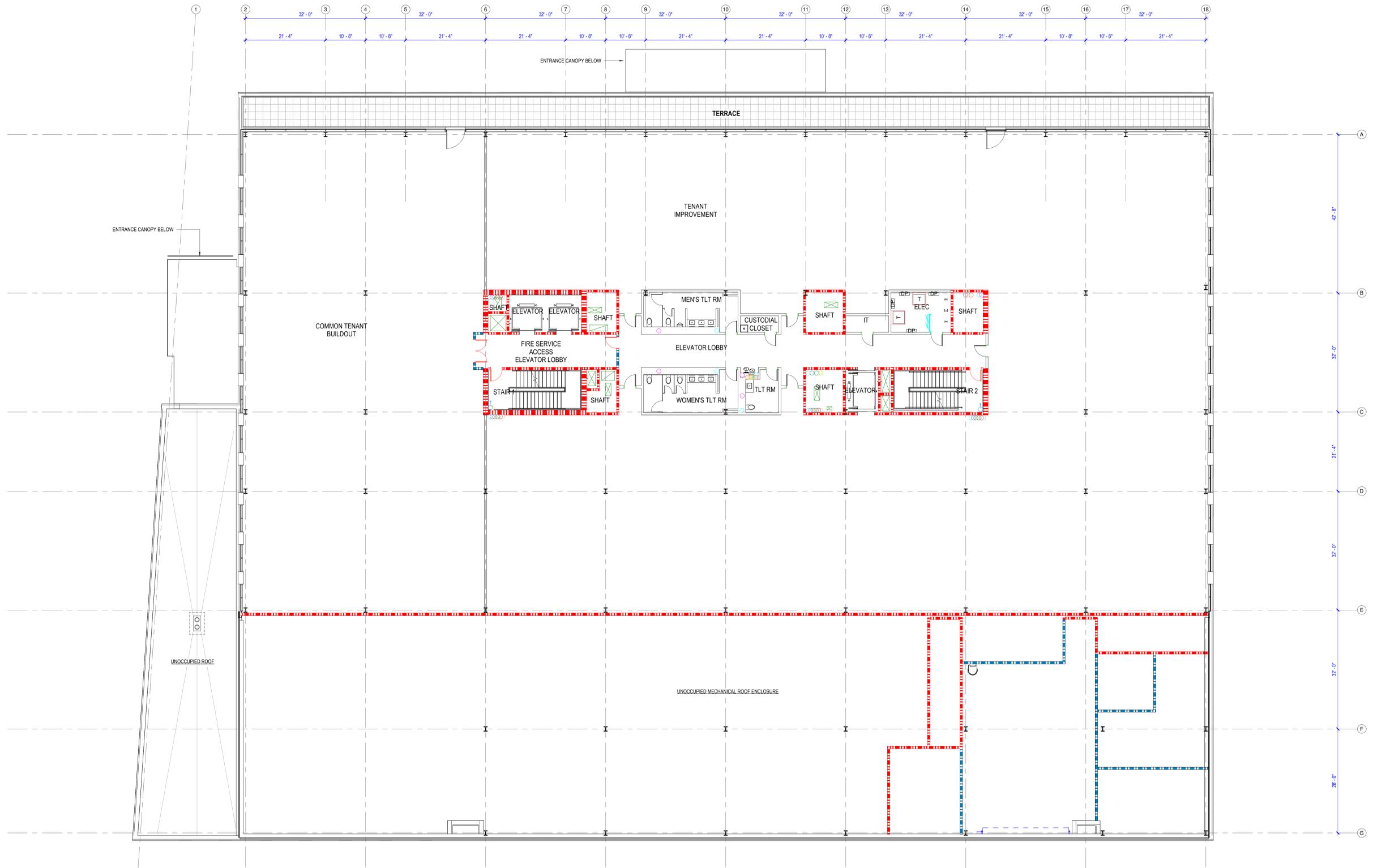
FLOOR PLAN LEVEL 01

SHEET NUMBER

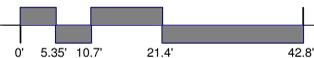
A11.01



1 OVERALL PLAN - LEVEL 01
SCALE 3/32" = 1'-0"
0' 5.35' 10.7' 21.4' 42.8'



1 OVERALL PLAN - LEVEL 02
SCALE 3/32" = 1'-0"



PROJECT

Gratiot Life Sciences Building
1326 ST. ANTOINE
DETROIT, MICHIGAN 48226



Rock Economic Development Group

630 Woodward Ave
Detroit, MI 48226

KEY PLAN

ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

ISSUE CHART

T	ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025
WSP	ISSUE	DATE
Job Number	021552.000	
TITLE	FLOOR PLAN LEVEL 02	

FLOOR PLAN LEVEL 02

SHEET NUMBER

A11.02

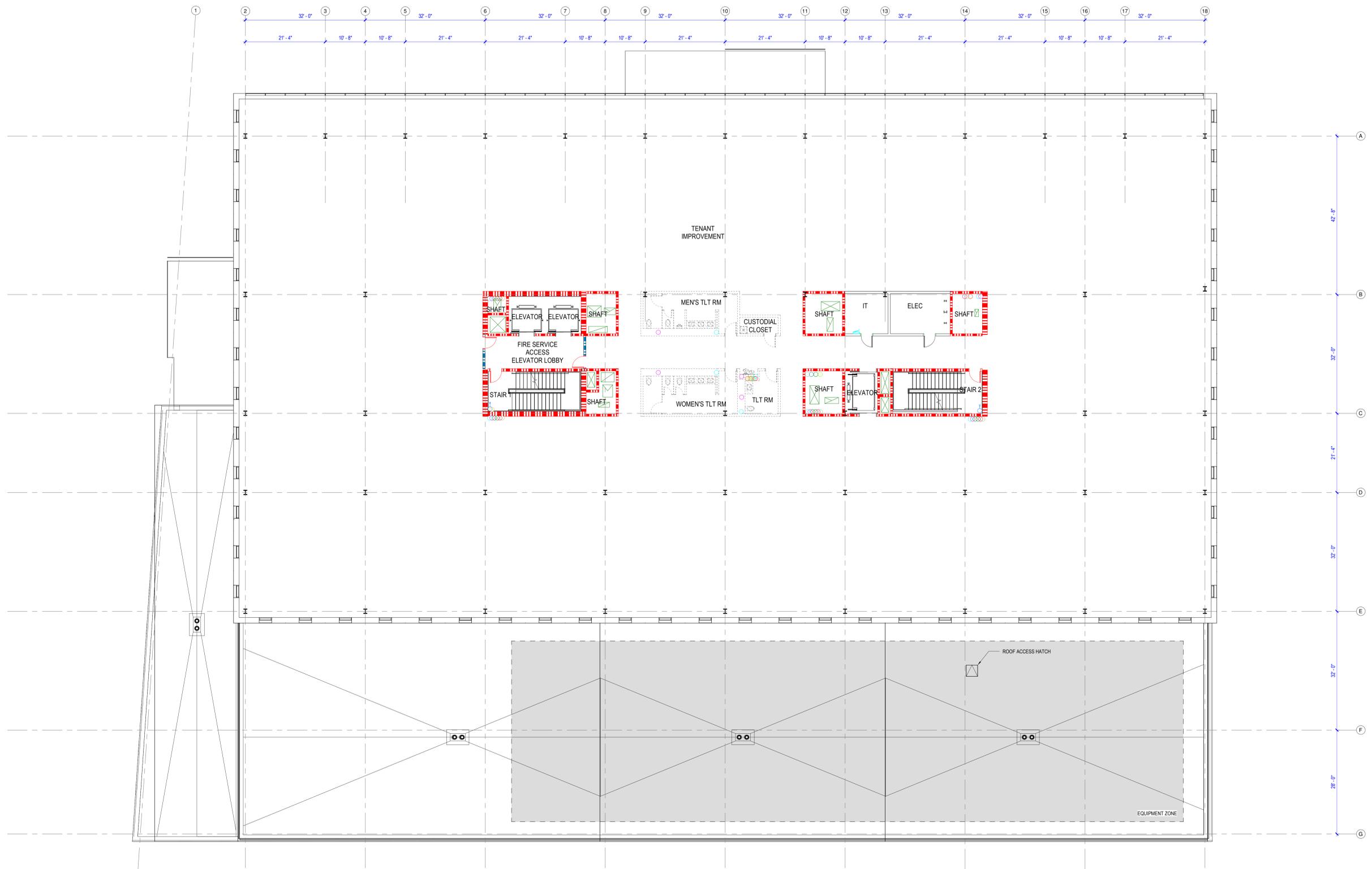
ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025
DATE	DATE
Job Number	021552.000
TITLE	

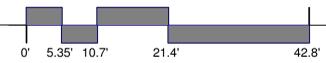
FLOOR PLAN LEVEL 03 - 05

SHEET NUMBER

A11.03



1 OVERALL FLOOR PLAN - LEVEL 03 - 05
SCALE 3/32" = 1'-0"



ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

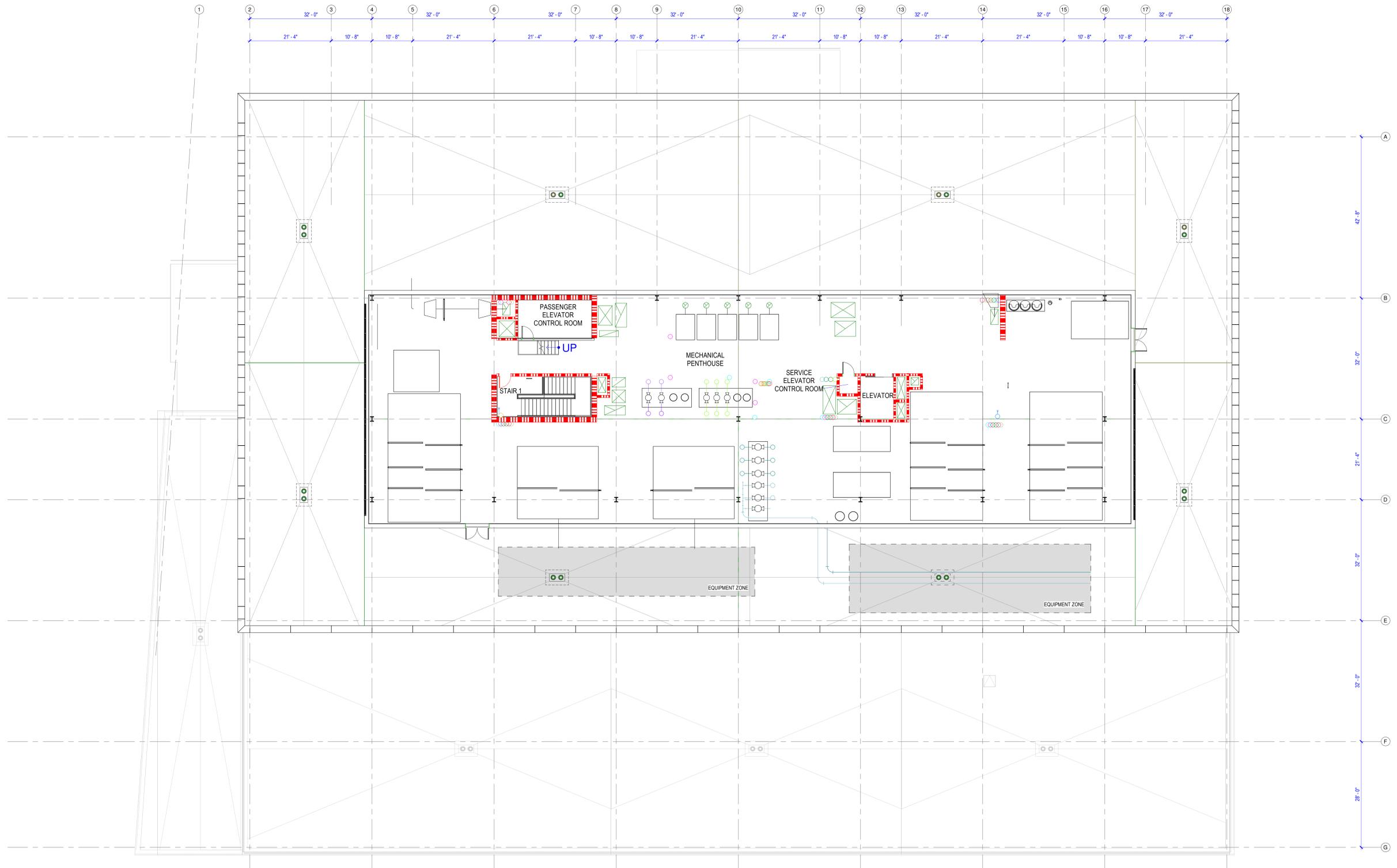
ISSUE	DATE
1 ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025

Job Number 021552.000
TITLE

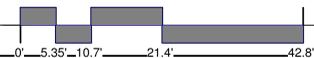
ROOF-PENTHOUSE FLOOR PLAN

SHEET NUMBER

A11.04



1 PENTHOUSE FLOOR PLAN
SCALE 3/32" = 1'-0"



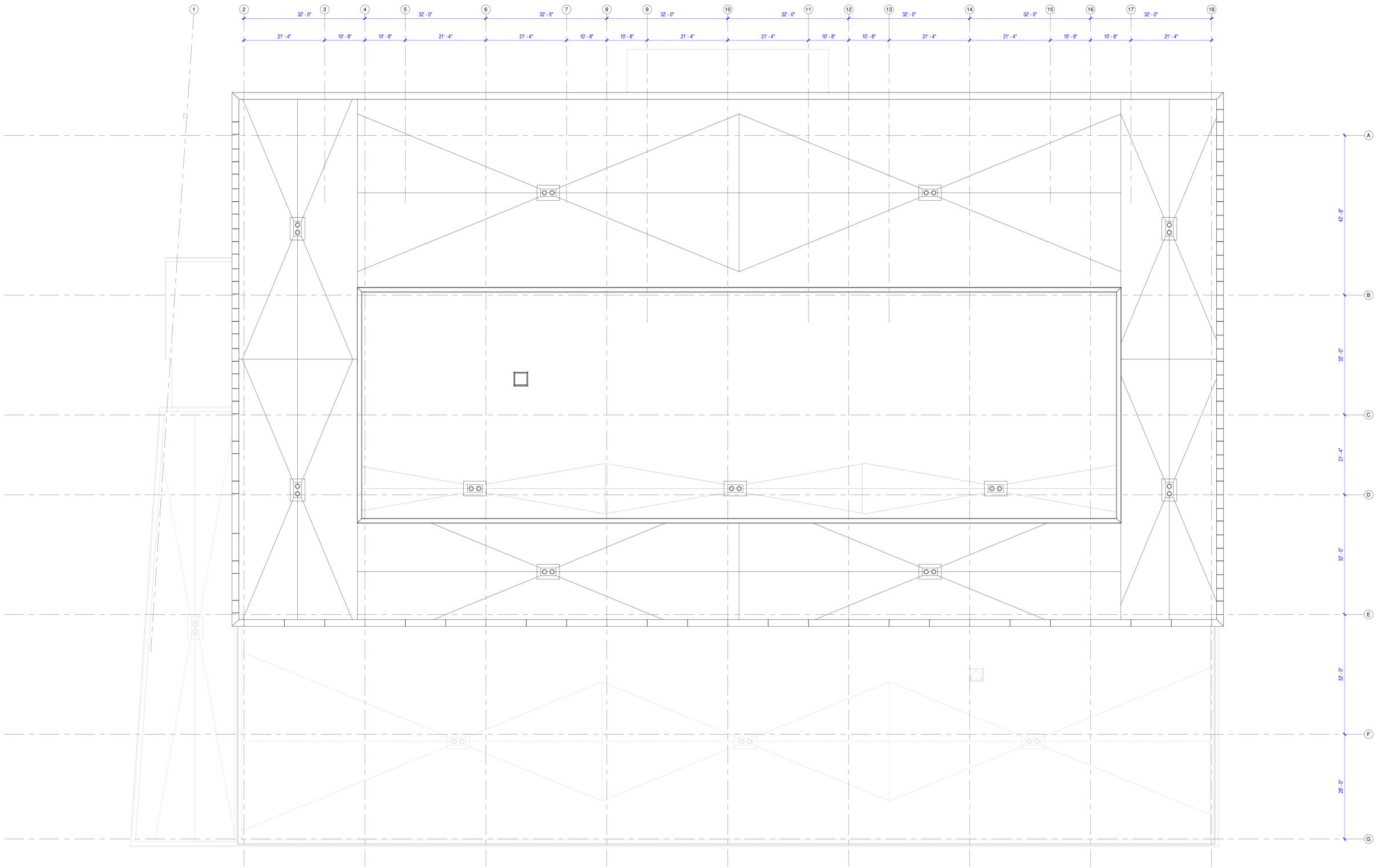
ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

1	ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025
ISSUE	DATE	
Job Number	021552.000	
TITLE	PENTHOUSE ROOF PLAN	
SHEET NUMBER	A11.05	

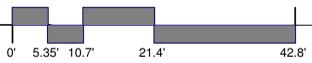
PENTHOUSE ROOF PLAN

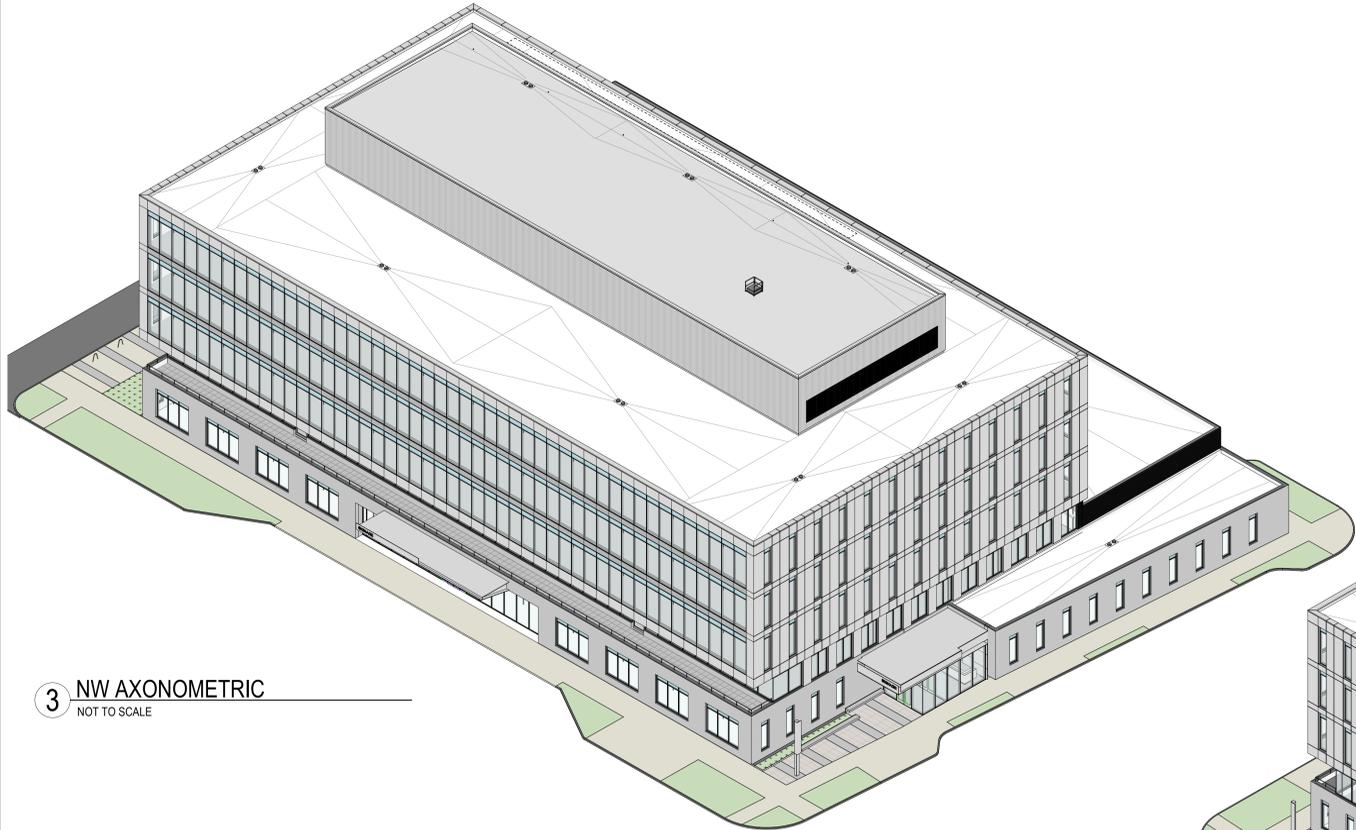
SHEET NUMBER

A11.05

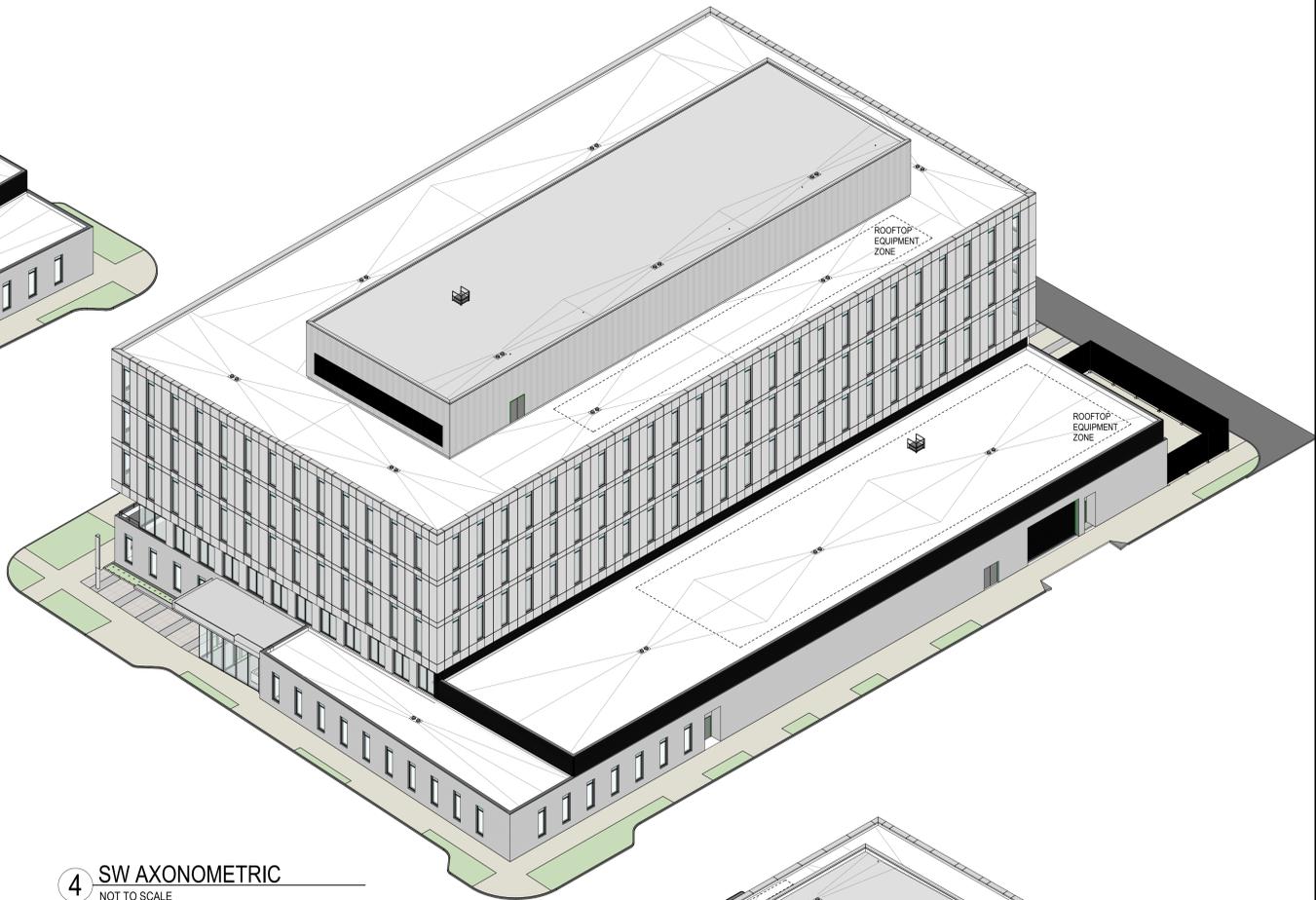


1 PENTHOUSE ROOF PLAN
SCALE 3/32" = 1'-0"

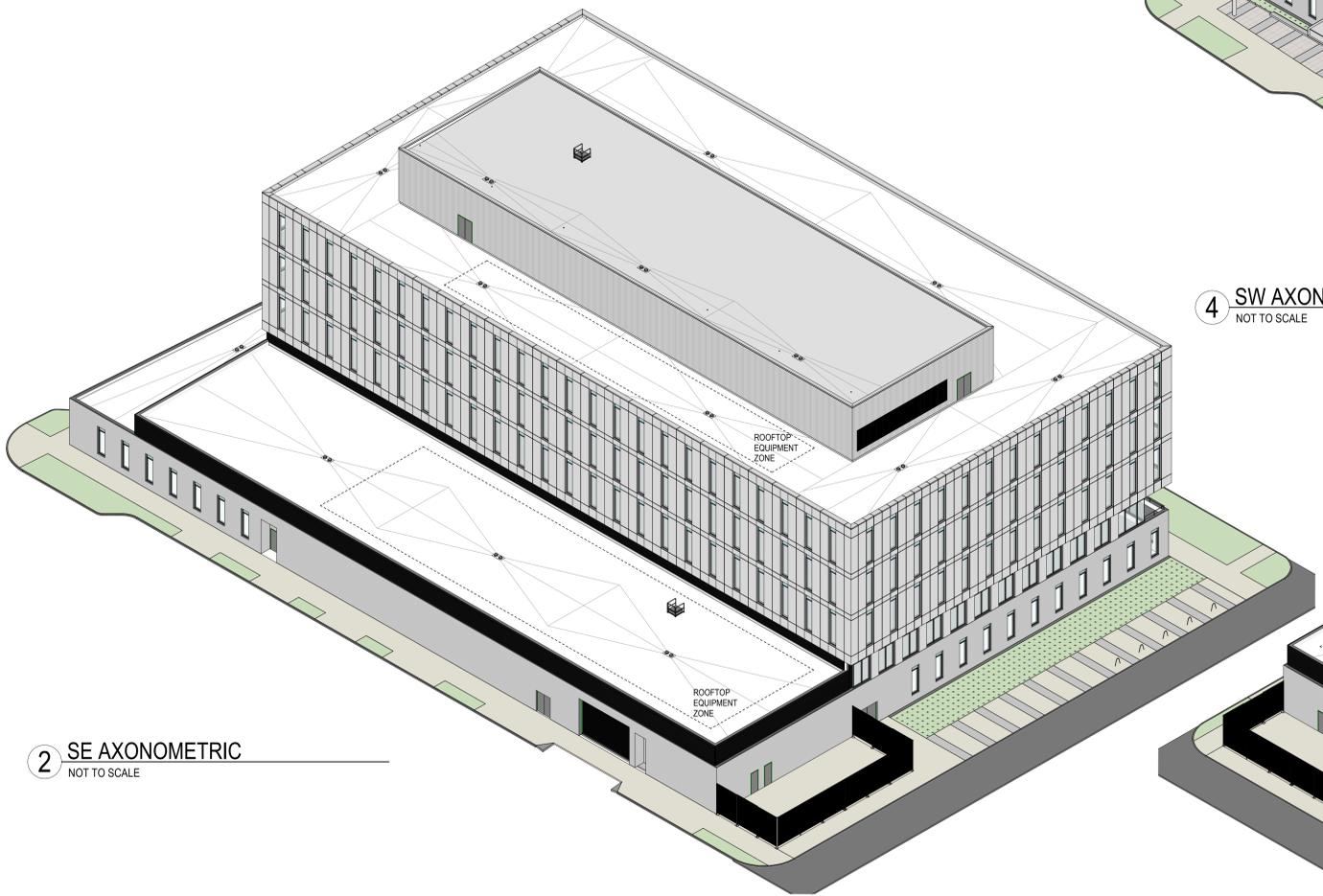




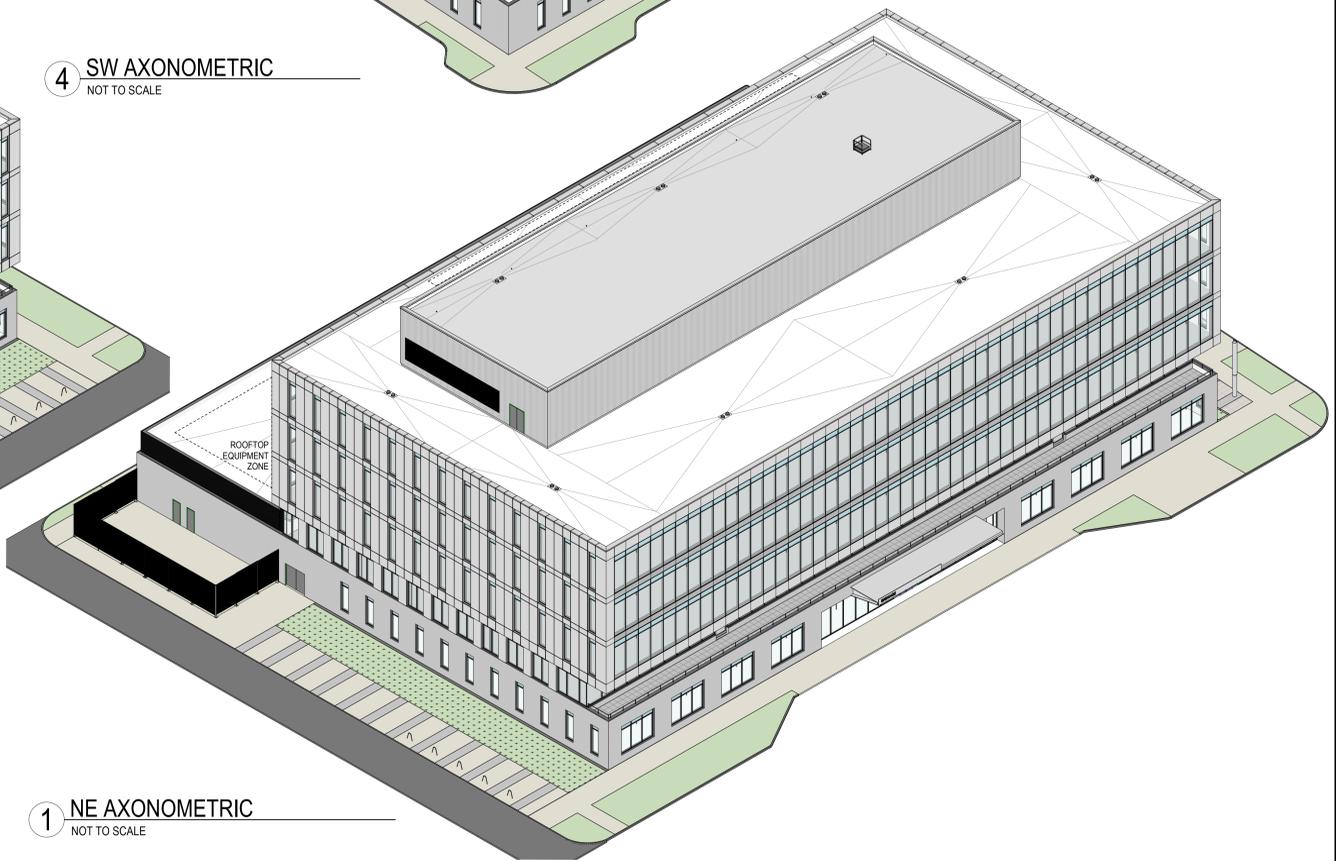
3 NW AXONOMETRIC
NOT TO SCALE



4 SW AXONOMETRIC
NOT TO SCALE



2 SE AXONOMETRIC
NOT TO SCALE



1 NE AXONOMETRIC
NOT TO SCALE

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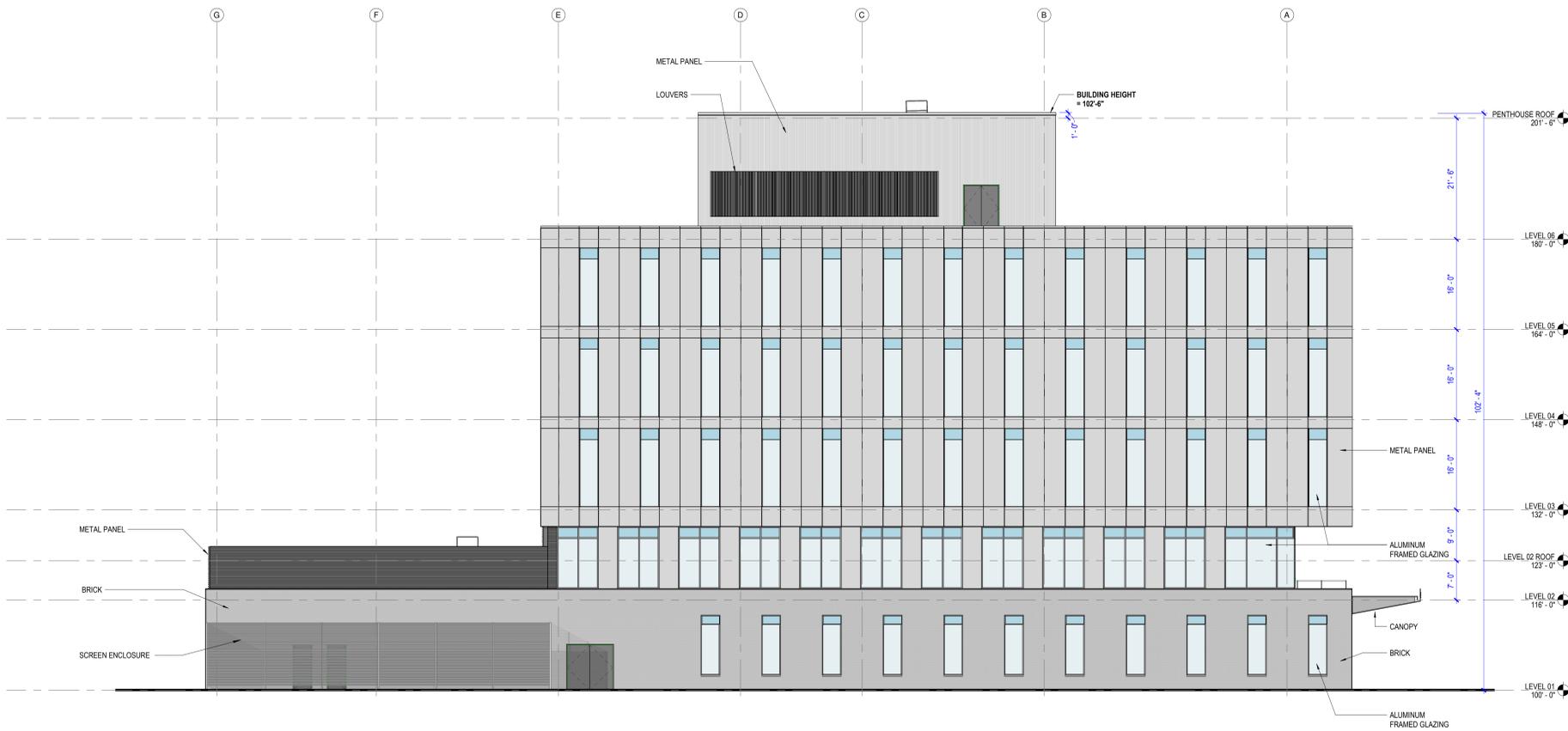
ISSUE CHART

ISSUED FOR SITE PLAN APPROVAL	14 MAR 2025
DATE	
Job Number	021552.000
TITLE	

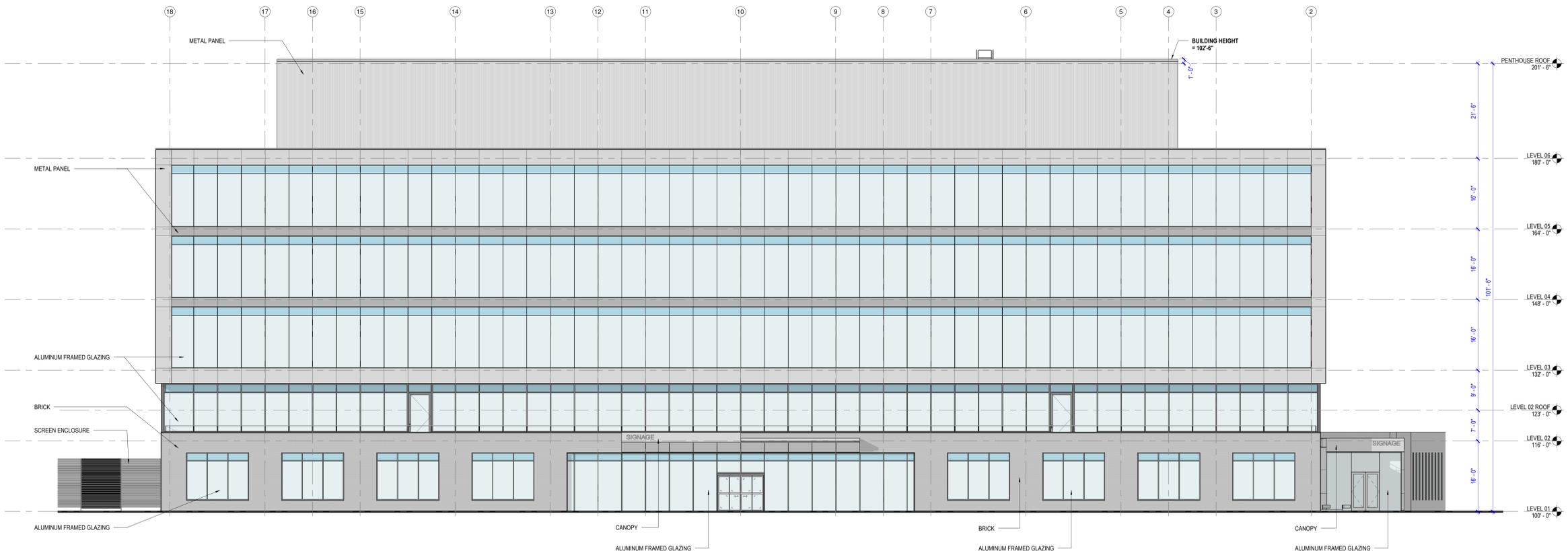
AXONOMETRICS

SHEET NUMBER

A20.00



2 EAST ELEVATION
SCALE 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE 3/32" = 1'-0"

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BEDROCK
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Detroit, MI 48226

KEY PLAN

ISSUE CHART

3	ISSUED FOR SITE PLAN APPROVAL	14MAR2025
2	ISSUED FOR SCHEMATIC DESIGN	13MAR2025
1	70% SCHEMATIC DESIGN	20FEB2025
DATE	ISSUE	DATE
Job Number	021552.000	TITLE

EXTERIOR ELEVATIONS

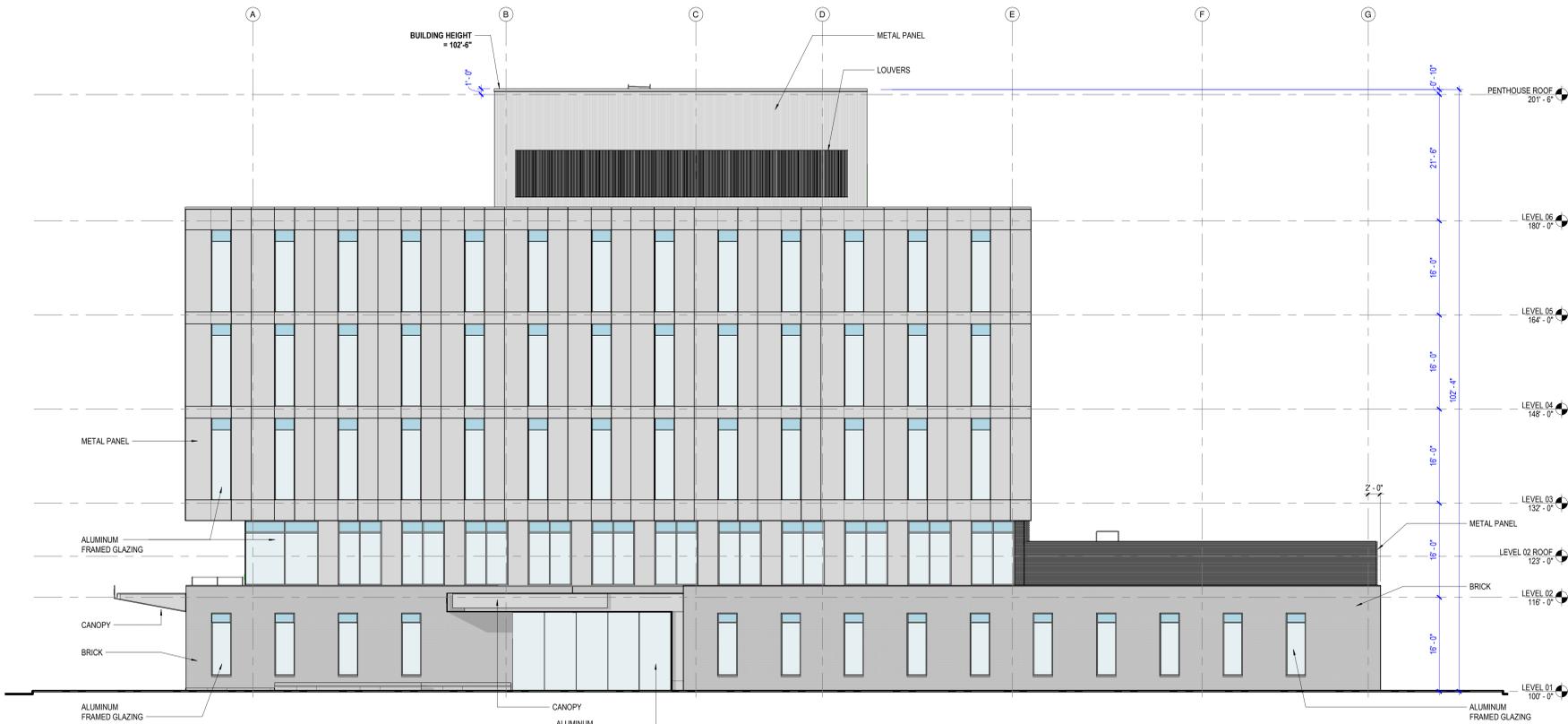
SHEET NUMBER

A20.01

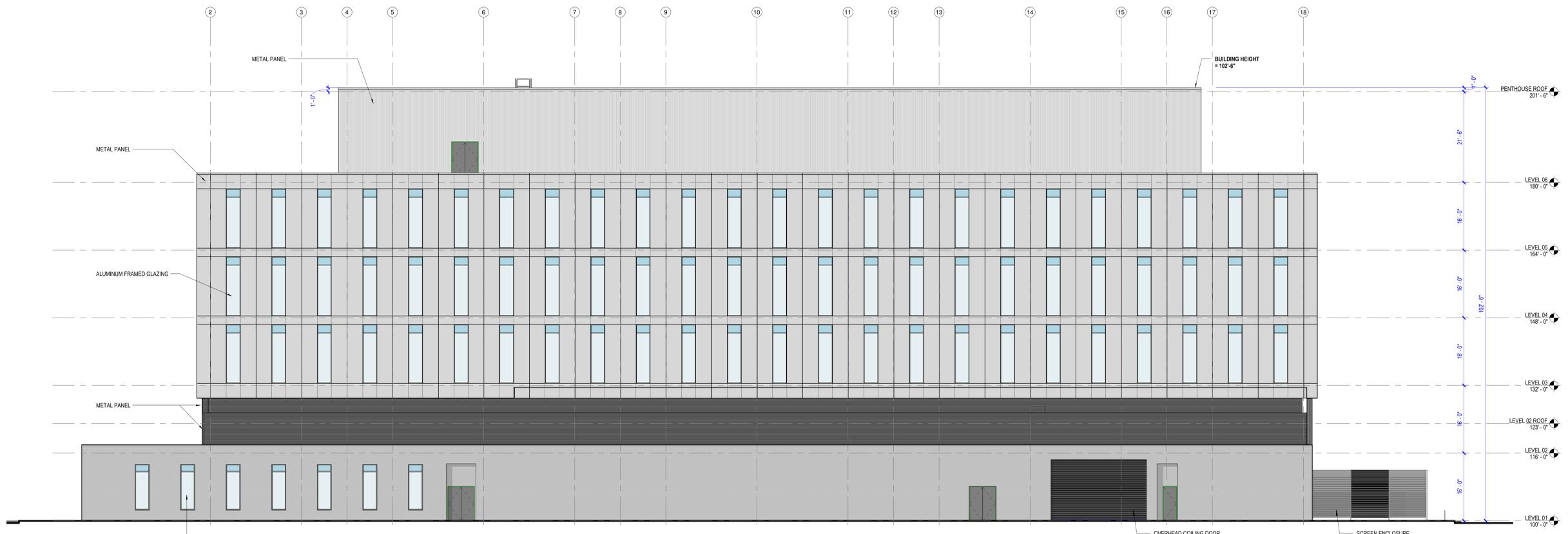
ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025

3	ISSUED FOR SITE PLAN APPROVAL	14MAR2025
2	ISSUED FOR SCHEMATIC DESIGN	13MAR2025
1	70% SCHEMATIC DESIGN	20FEB2025
DATE	ISSUE	DATE
Job Number	021552.000	TITLE

ISSUED FOR SITE PLAN APPROVAL 14 MARCH, 2025



2 WEST ELEVATION
SCALE 3/32" = 1'-0"



1 SOUTH ELEVATION
SCALE 3/32" = 1'-0"