

# PRELIMINARY SITE PLANS

# DMS PARKING IMPROVEMENTS

## 12701 SOUTHFIELD ROAD

## CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

**SITE DATA TABLE:**

SITE AREA: 39.32 ACRES (1,712,803 SQ.FT.) NET AND GROSS

ZONING: M4 – INTENSIVE INDUSTRIAL/M2 – RESTRICTED INDUSTRIAL/  
PD – PLANNED DEVELOPMENT

PROPOSED USE: EMPLOYEE PARKING FOR EXISTING INDUSTRIAL USE

**SETBACK REQUIREMENTS:**  
NO MINIMUM SETBACKS ARE REQUIRED IN THE M2 AND M4 ZONING DISTRICTS.  
PD ZONING DISTRICT – DIMENSIONAL AND INTENSITY STANDARDS FOR SETBACKS  
SHOULD BE APPROPRIATE TO THE NATURE OF THE DEVELOPMENT AND RELATE WELL  
TO THE SURROUNDING DEVELOPMENT.

PROPOSED LANDSCAPING AND PARKING, WHICH IS SETBACK TEN (10) FEET TO THE  
NORTH PROPERTY LINE WITHIN THE PD ZONING DISTRICT.

**PARKING ADDITION:**  
DMS NORTH PARKING LOT EXPANSION:  
PROPOSED PARKING PROVIDED:  
98 ANGLED EMPLOYEE PARKING SPACES PER CITY STANDARDS

**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL  
SURVEY FOR WAYNE COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
UrbaqB – URBAN LAND – RIVERFRONT COMPLEX, 0 TO 4% SLOPES

**LEGAL DESCRIPTION:**

THAT PART OF THE NORTHEAST 1/4 OF SECTION 26, TOWN 01 SOUTH, RANGE 10 EAST, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 28 OF 'SUNNYBROOK GARDENS SUBDIVISIONS NO. 1', ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 36 OF PLATS, PAGE 35, WAYNE COUNTY RECORDS; THENCE SOUTH 89 DEGREES 37 MINUTES 27 SECONDS WEST, 16.89 FEET ALONG THE SOUTH LINE OF 'SUNNYBROOK GARDENS SUBDIVISIONS NO. 1' TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTHFIELD FREEWAY (M-39) AND THE POINT OF BEGINNING FOR THIS PARCEL; THENCE SOUTH 02 DEGREES 11 MINUTES 10 SECONDS WEST, ALONG THE SAID WESTERLY RIGHT-OF-WAY, 649.62 FEET; THENCE CONTINUING ALONG THE SAID WESTERLY RIGHT-OF-WAY ALONG A CURVE TO THE LEFT, WITH A RADIUS 1936.86 FEET, ARC OF 139.98 FEET, CHORD BEARING SOUTH 00 DEGREES 06 MINUTES 57 SECONDS WEST, 139.95; THENCE SOUTH 01 DEGREES 57 MINUTES 19 SECONDS EAST, CONTINUING ALONG THE SAID WESTERLY RIGHT-OF-WAY, 460.73 FEET; THENCE CONTINUING ALONG THE SAID WESTERLY RIGHT-OF-WAY ALONG A CURVE TO THE RIGHT, WITH A RADIUS 359.44 FEET, ARC OF 16.48 FEET, CHORD BEARING SOUTH 37 DEGREES 11 MINUTES 32 SECONDS WEST, 16.47 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE RAILROAD; THENCE SOUTH 89 DEGREES 36 MINUTES 48 SECONDS WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE, 2373.96 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF ARTESIAN AVENUE; THENCE NORTH 00 DEGREES 37 MINUTES 51 SECONDS WEST, ALONG SAID EAST RIGHT-OF-WAY LINE, 1263.12 FEET TO THE SOUTHWEST CORNER OF LOT 79 OF 'B.E. TAYLOR'S STRATHMOORE-COLONIAL SUBDIVISION' AS RECORDED IN LIBER 50 OF PLATS, PAGE 81, WAYNE COUNTY RECORDS; THENCE NORTH 89 DEGREES 37 MINUTES 47 SECONDS EAST, ALONG THE SOUTH LINE OF SAID 'B.E. TAYLOR'S STRATHMOORE-COLONIAL SUBDIVISION', 1278.75 FEET TO THE SOUTHEAST CORNER OF 'B.E. TAYLOR'S STRATHMOORE-COLONIAL SUBDIVISION' AND THE SOUTHWEST CORNER OF 'SUNNYBROOK GARDENS SUBDIVISIONS NO. 1'; THENCE NORTH 89 DEGREES 37 MINUTES 27 SECONDS EAST, ALONG THE SOUTH LINE OF SAID 'SUNNYBROOK GARDENS SUBDIVISIONS NO. 1', 1128.41 FEET RETURNING TO THE POINT OF BEGINNING FOR THIS PARCEL.

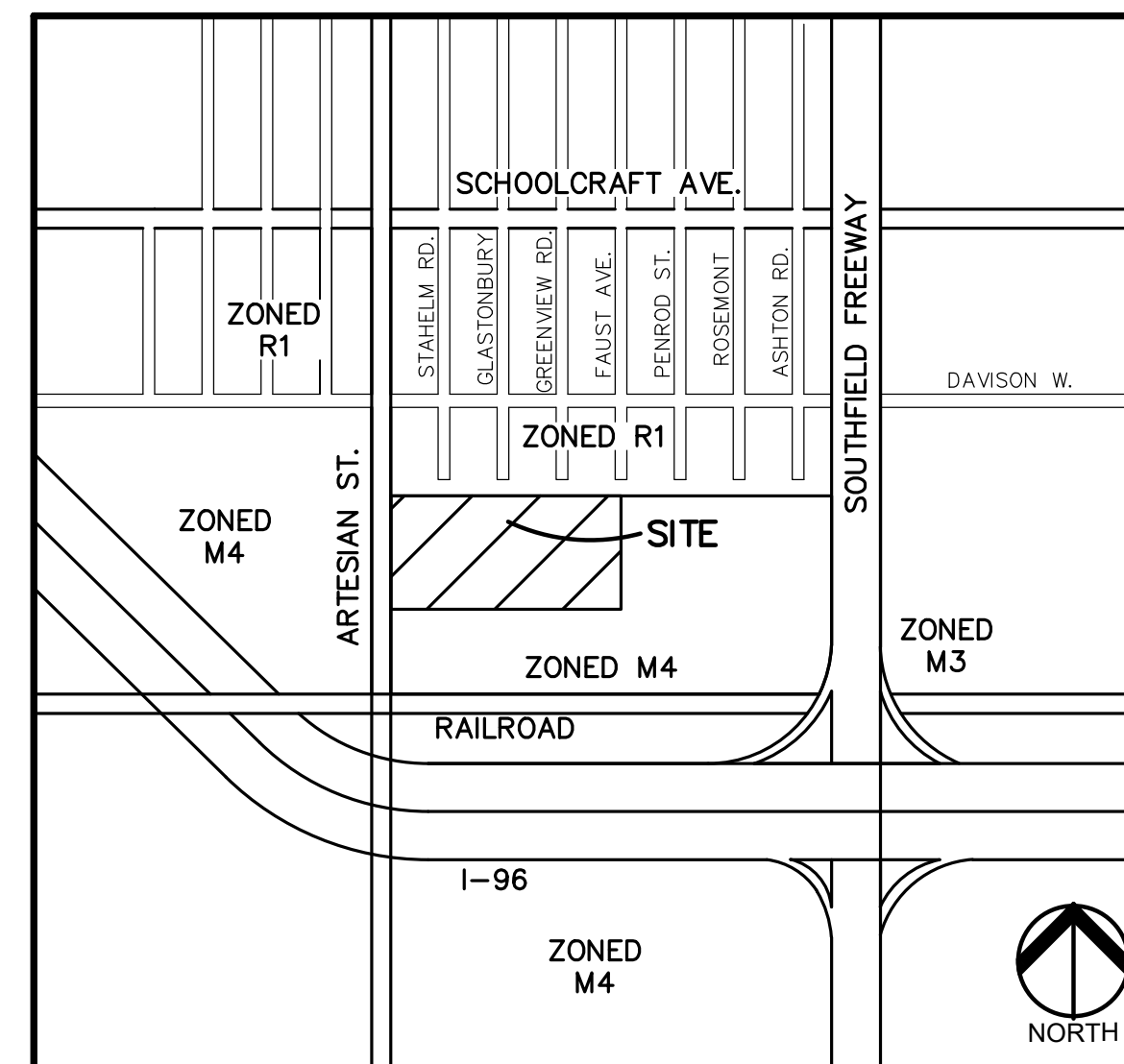
**PROJECT DESCRIPTION:**

PARCEL NO.: 22074253-5  
ADDITION OF 98 EMPLOYEE PARKING SPACES ON THE NORTH SIDE OF THE EXISTING PARKING LOT TO CAPTURE THE GROWING WORK FORCE OF THE DETROIT MANUFACTURING SYSTEMS FACILITY.

**ALTERNATIVE  
ENGINEERED DESIGN**

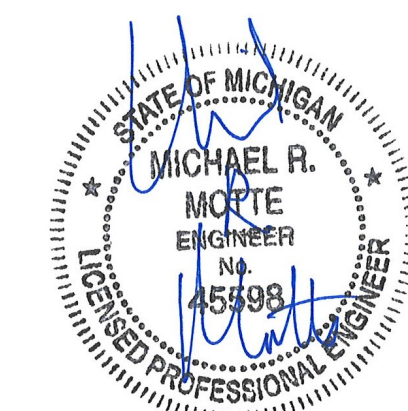
**DESIGN TEAM**

<p><b>OWNER/APPLICANT</b></p> <p>INNOVO DEVELOPMENT GROUP 1321 W. WESTNEDGE AVE. KALAMAZOO, MI 49008 CONTACT: TRAE ALLMAN, PRINCIPAL PHONE: 269.830.9124 EMAIL: TRAE@INNOVODEV.COM</p>	<p><b>CIVIL ENGINEER</b></p> <p>PEA GROUP 58105 VAN DYKE RD. WASHINGTON TWP., MI 48094 CONTACT: MICHAEL R. MOTTE, PE PHONE: 844.813.2949 EMAIL: MMOTTE@PEAGROUP.COM</p>
<p><b>ARCHITECT</b></p> <p>DRIVEN DESIGN GROUP 4162 ENGLISH OAK DRIVE LANSING, MICHIGAN 48911 CONTACT: CHRIS MILLER, PE, CEM PHONE: 989.573.0710 EMAIL: CMILLER@DRIVENDG.COM</p>	<p><b>LANDSCAPE ARCHITECT</b></p> <p>PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMEIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMEIN@PEAGROUP.COM</p>



**LOCATION MAP**  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	DEMOLITION PLAN
C-3.0	OVERALL SITE PLAN
C-3.1	DIMENSION AND PAVING PLAN - 1
C-3.2	DIMENSION AND PAVING PLAN - 2
C-4.1	PRELIMINARY GRADING PLAN - 1
C-4.2	PRELIMINARY GRADING PLAN - 2
C-5.0	PRELIMINARY UTILITY PLAN
C-6.0	NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS



REVISIONS	
DESCRIPTION	DATE
OWNER REVIEW	9/11/2023

**NOT FOR CONSTRUCTION**

**LEGAL DESCRIPTION:**

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**BENCHMARKS**

(NAVD 88, GPS DERIVED)

**BM 301**

NORTHEAST BOLT ON NORTHEAST COLUMN OF BUILDING A. 30' NORTH OF NORTHEAST BUILDING CORNER AND 1300' EAST OF CENTER LINE OF ARTESIAN STREET.  
ELEVATION - 628.62

**BM 350**

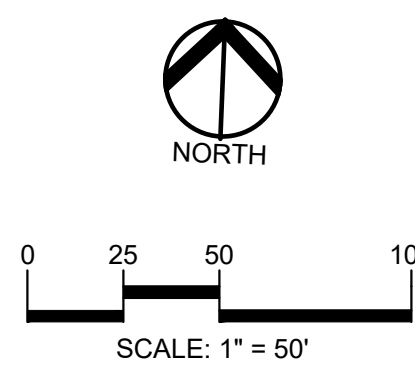
"+" ON TOP OF LIGHT POLE CONCRETE BASE. LIGHT IS 45'± NORTHWEST OF CORNER OF THE MAIN BUILDING ON THE SUBJECT PROPERTY.  
ELEVATION - 628.86

**FLOODPLAIN:**

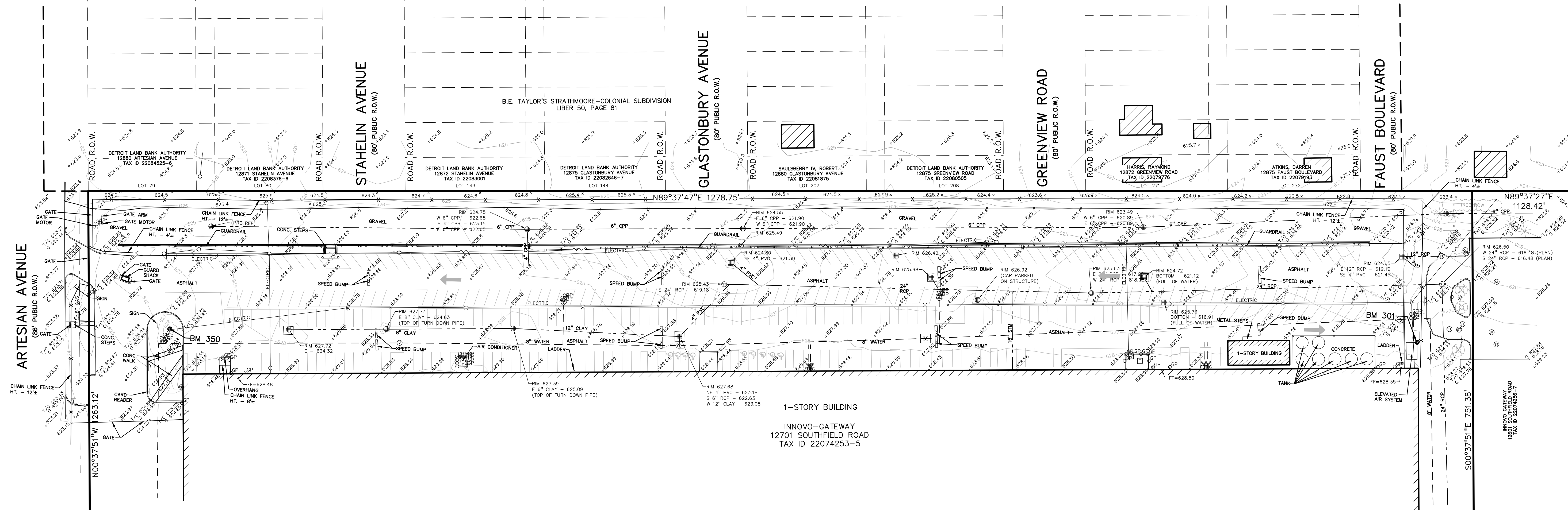
BY GRAPHIC PLATTING, THE SUBJECT PARCEL IS IN "ZONE X" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26163C0100E, EFFECTIVE DATE OF 2/2/2012.

**LEGEND:**

- OH-ELEC-WV-C EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV EX. U.G. CABLE TV & PEDESTAL
- UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊠ EX. TRANSFORMER & IRRIGATION VALVE
- - - EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊖ EX. WATER VALVE BOX & SHUTOFF
- ⊙ EX. SANITARY SEWER
- ⊗ EX. SANITARY CLEANOUT & MANHOLE
- ⊕ EX. COMBINED SEWER MANHOLE
- - - EX. STORM SEWER
- ⊗ EX. CLEANOUT & MANHOLE
- ⊠ EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- ⊕ EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
- ⊙ EX. UNIDENTIFIED STRUCTURE
- ⊗ EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
- - - EX. FENCE
- ⊕ EX. GUARD RAIL
- ⊗ EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- ⊕ EX. TREE TAG, & TREE LINE
- ⊕ EX. SPOT ELEVATION
- ⊕ EX. CONTOUR
- ⊕ EX. WETLAND
- ⊗ IRON FOUND / SET
- ⊕ NAIL FOUND / NAIL & CAP SET
- ⊕ BRASS PLUG SET
- ⊕ MONUMENT FOUND / SET
- ⊕ SECTION CORNER FOUND
- R M C RECORDED / MEASURED / CALCULATED



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS

OWNER REVIEW	9/11/23
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ORIGINAL ISSUE DATE:  
AUGUST 29, 2023

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	DLB
DES.	DLB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-1.0**



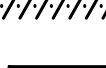
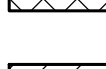
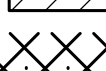

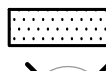

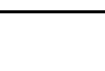

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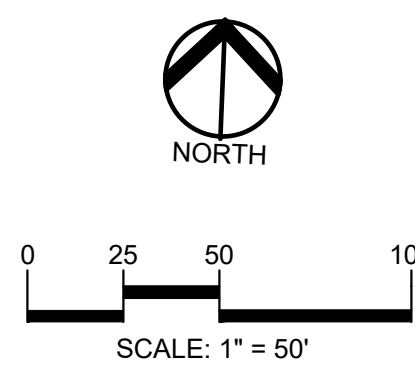
**GENERAL DEMOLITION NOTES:**

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

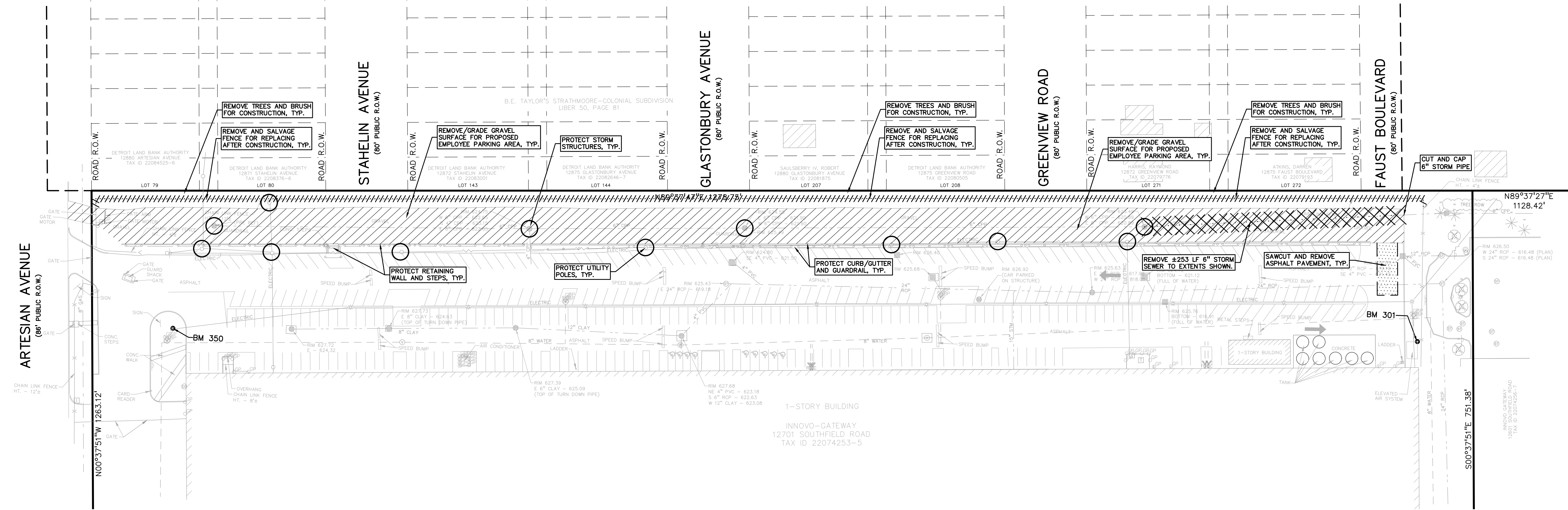
1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
6. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
9. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
10. ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
11. REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

**DEMOLITION LEGEND:**

- ITEM TO BE PROTECTED 
- ITEM TO BE REMOVED 
- CURB/FENCE REMOVAL 
- CONCRETE PAVEMENT AND SIDEWALK REMOVAL 
- AREA OR ITEMS TO BE REMOVED 
- UTILITY REMOVAL 
- ABANDON UTILITY 
- ASPHALT REMOVAL 
- TREE REMOVAL 
- SAWCUT LINE 



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CLIENT  
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1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

ORIGINAL ISSUE DATE:  
AUGUST 29, 2023

DRAWING TITLE  
**DEMOLITION PLAN**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	DLB
DES.	DLB
DRAWING NUMBER:	

S:\PROJECTS\2023\03-0789 DMS PARKING IMPROVEMENTS\DWG\_2-DT\_PLAN\IC-2-DEMOL-23-0789.dwg PLOT DATE: 9/8/2023 8:11:04 AM

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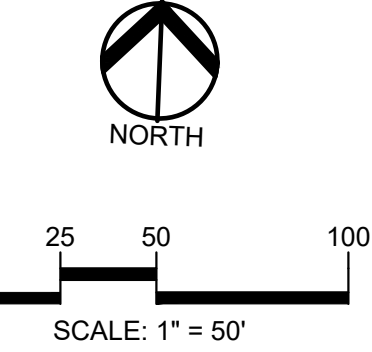
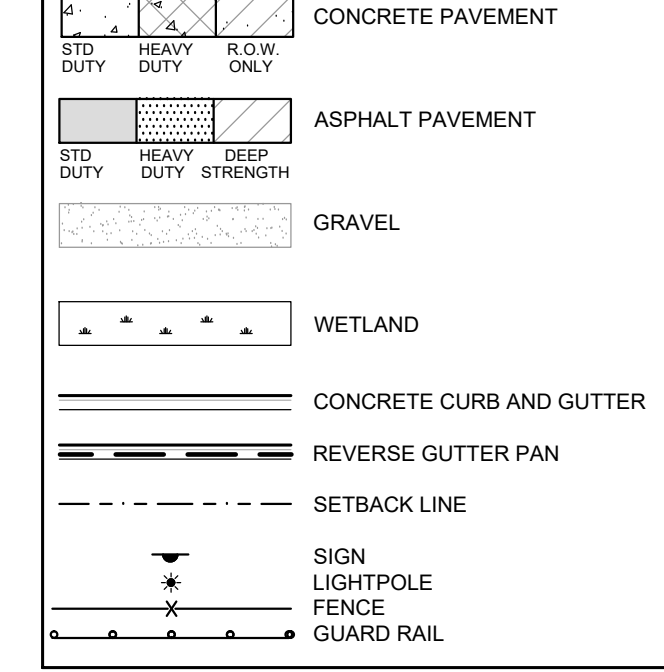
**GENERAL NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  2. CURB RADIUS IS 5' UNLESS OTHERWISE NOTED.
  3. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.

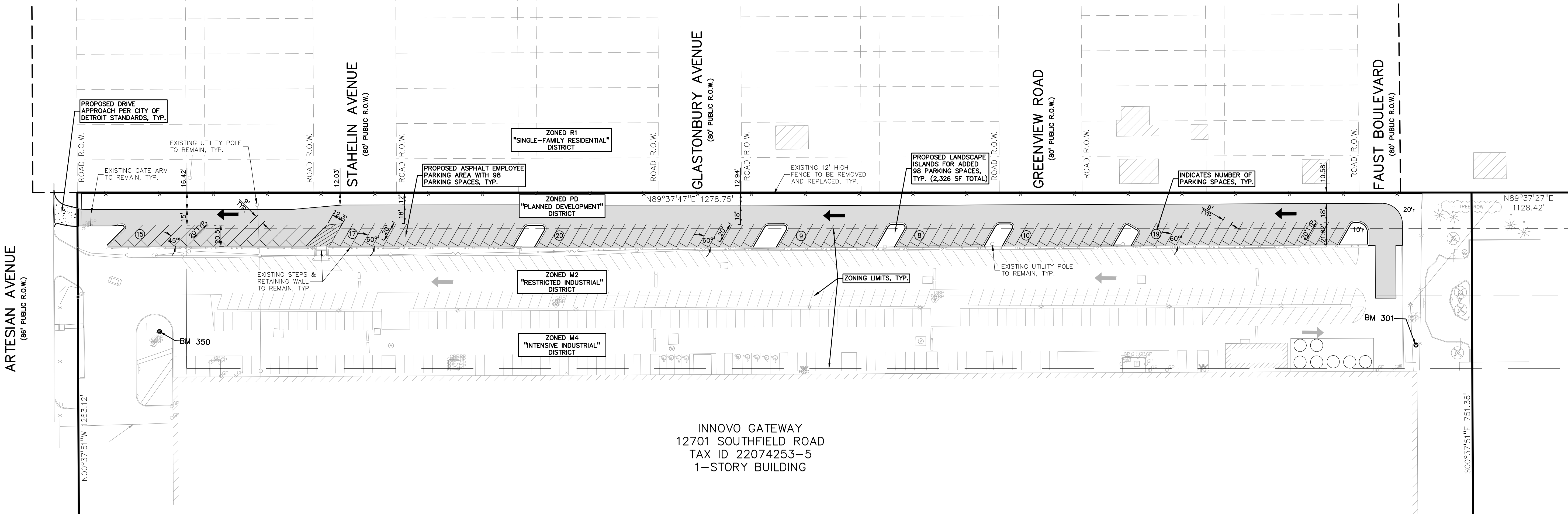
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 PROPOSED USE: EMPLOYEE PARKING FOR EXISTING INDUSTRIAL USE  
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**PROPOSED LANDSCAPING AND PARKING, WHICH IS SETBACK TEN (10) FEET TO THE NORTH PROPERTY LINE WITHIN THE PD ZONING DISTRICT.**  
**PARKING ADDITION:**  
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 98 ANGLED EMPLOYEE PARKING SPACES PER CITY STANDARDS  
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**LEGEND:**



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INNOVO GATEWAY  
 12701 SOUTHFIELD ROAD  
 TAX ID 22074253-5  
 1-STORY BUILDING

CLIENT  
**INNOVO DEVELOPMENT GROUP**  
 1321 S. WESTNEDGE AVENUE  
 KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
 12701 SOUTHFIELD ROAD  
 DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

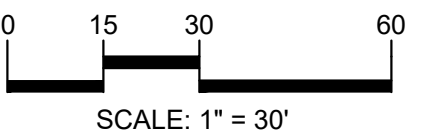
ORIGINAL ISSUE DATE:  
 AUGUST 29, 2023  
 DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO.	23-0789
P.M.	MRM
DN	DLB
DES.	DLB
DRAWING NUMBER:	

S:\PROJECTS\2023\03-0789\_DMS\_PARKING IMPROVEMENTS\DWG\_02\_SITE\_PLAN\IC-10318E-23-0789.dwg PLOT DATE: 9/18/2023 8:11:00 AM

**LEGEND:**

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL



**CAUTION!!**  
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CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

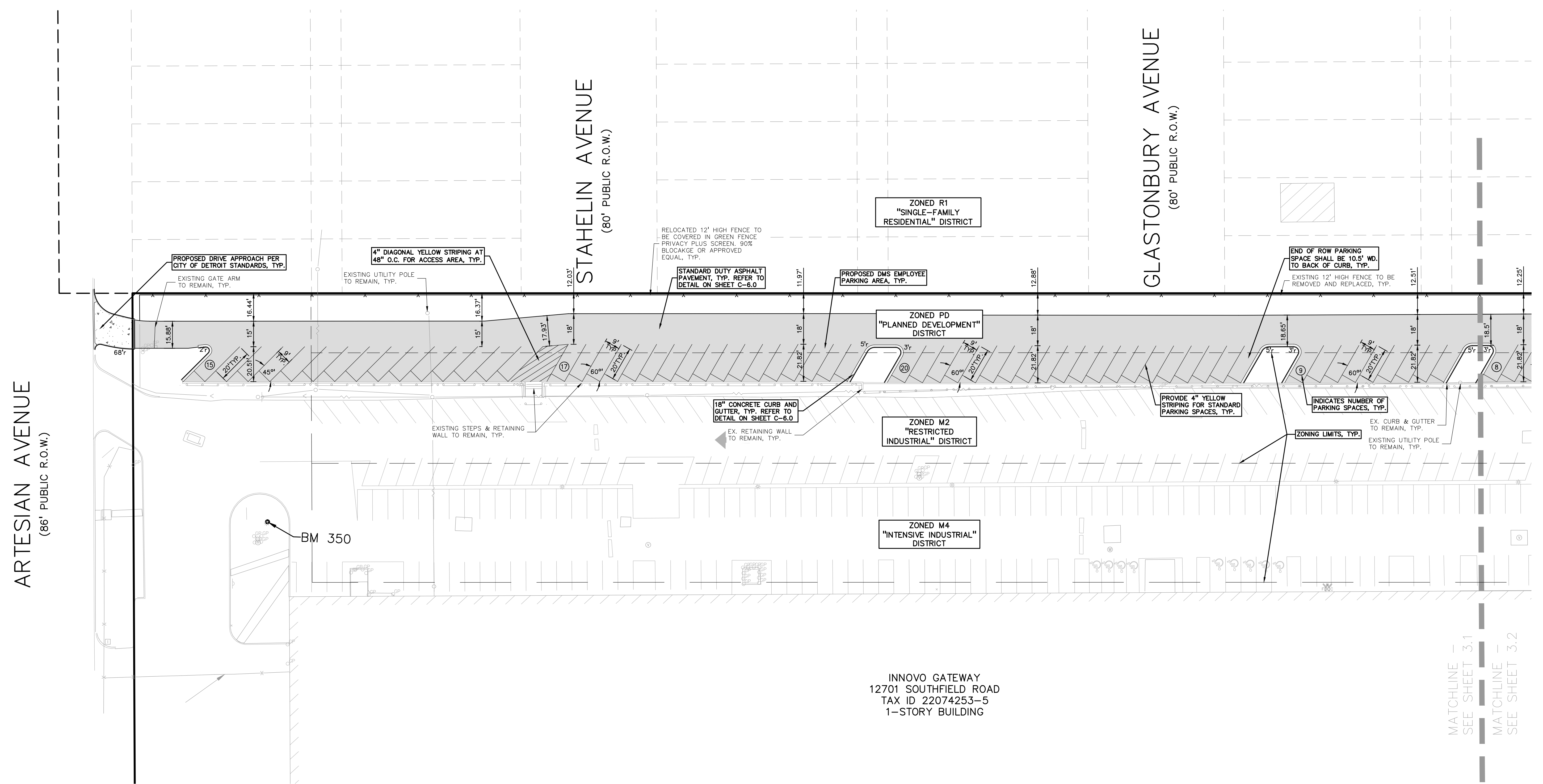
PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

**REVISIONS**

OWNER REVIEW	9/11/23
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ORIGINAL ISSUE DATE:  
AUGUST 29, 2023  
DRAWING TITLE  
**DIMENSION & PAVING PLAN - 1**

PEA JOB NO.	23-0789
P.M.	MRM
DN	DLB
DES.	DLB
DRAWING NUMBER:	

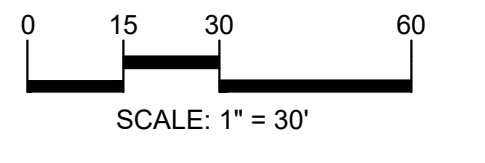


MATCHLINE - SEE SHEET 3.1  
MATCHLINE - SEE SHEET 3.2

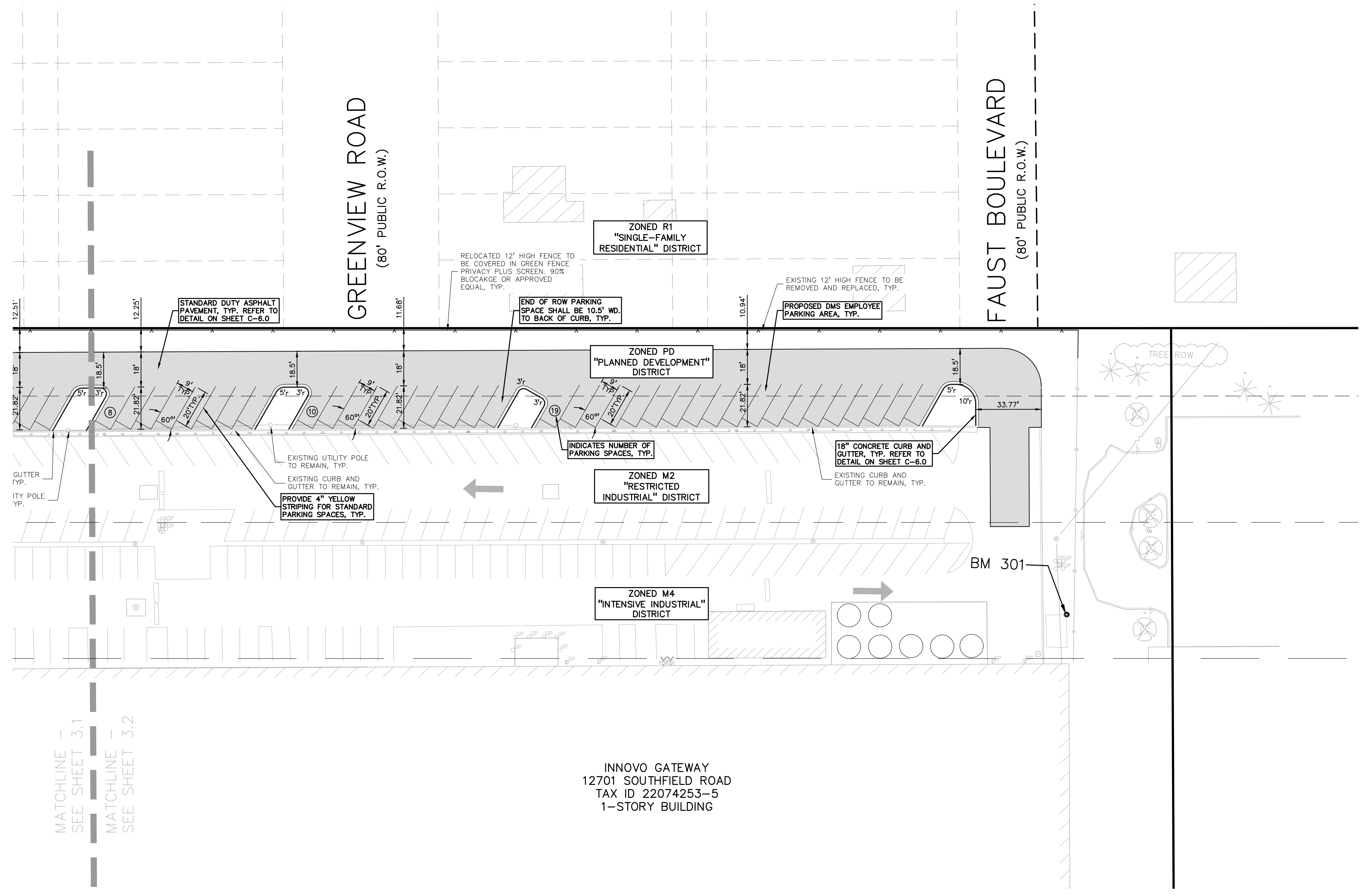
\\pea\new\PROJECTS\2023\23-0789 - DMS PARKING IMPROVEMENTS\DWG\3\_DRAWING\_PLAN\C-3.1.DWG DATE: 9/13/2023 BY: Michael Matla

**LEGEND:**

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL



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CLIENT  
**INNOVO DEVELOPMENT GROUP**  
 1321 S. WESTNEDGE AVENUE  
 KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
 12701 SOUTHFIELD ROAD  
 DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

ORIGINAL ISSUE DATE:  
 AUGUST 29, 2023

DRAWING TITLE  
**DIMENSION & PAVING PLAN - 2**

PEA JOB NO.	23-0789
P.M.	MRM
DN	DLB
DES.	DLB
DRAWING NUMBER:	

\\pea\new\PROJECTS\2023\23-0789 - DMS PARKING IMPROVEMENTS\DWG\2\_31\_PLAN\C-3.2\_PAVING PLAN\C-3.2\_PAVING PLAN.dwg PLOT DATE: 9/13/2023 BY: Michael Motta

**BENCHMARKS**  
(NAVD 88, GPS DERIVED)

BM 301  
NORTHEAST BOLT ON NORTHEAST COLUMN OF BUILDING A. 30' NORTH OF NORTHEAST BUILDING CORNER AND 1300' EAST OF CENTER LINE OF ARTESIAN STREET.  
ELEVATION - 628.62

BM 350  
"+" ON TOP OF LIGHT POLE CONCRETE BASE. LIGHT IS 45'± NORTHWEST OF CORNER OF THE MAIN BUILDING ON THE SUBJECT PROPERTY.  
ELEVATION - 628.86

**EARTHWORK BALANCING NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

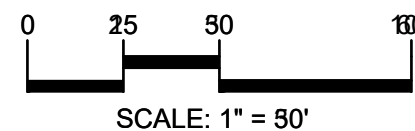
T/C = TOP OF CURB      G = GUTTER GRADE  
T/P = TOP OF PAVEMENT      FG = FINISH GRADE  
T/S = TOP OF SIDEWALK      RIM = RIM ELEVATION  
T/W = TOP OF WALL      B/W = BOTTOM OF WALL

REFER TO GRADING NOTES ON SHEET C-4.2.

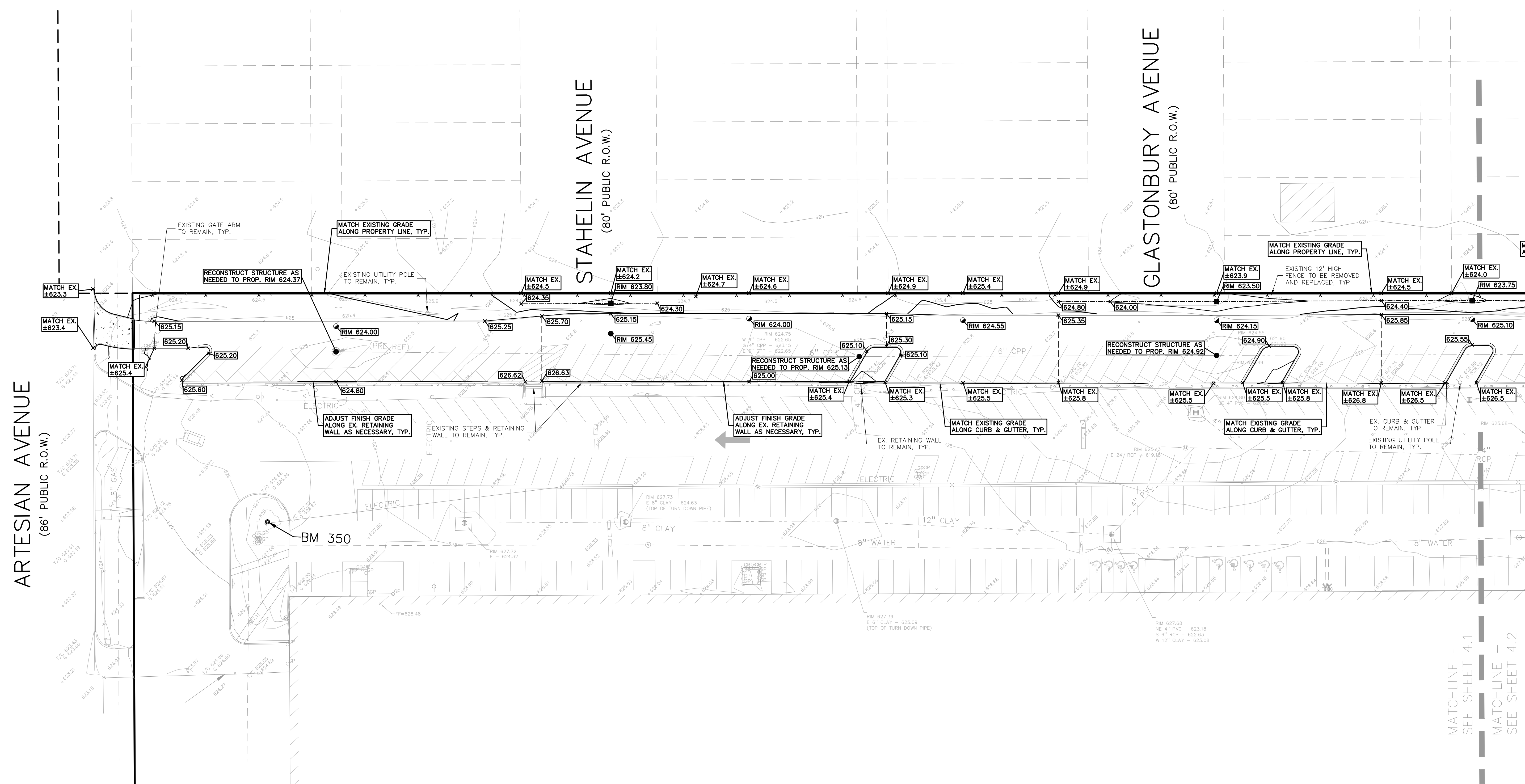
**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.



NORTH



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CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

ORIGINAL ISSUE DATE:  
AUGUST 29, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN - 1**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	DLB
DES.	DLB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

**C-4.1**

**GENERAL GRADING AND EARTHWORK NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
- ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM WAYNE COUNTY PRIOR TO CONSTRUCTION.
- ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
- REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
- ALL SLOPE EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
- ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
- ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW PROPOSED SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
- ANY SUBGRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

**BENCHMARKS**  
(NAVD 88, GPS DERIVED)

BM 301  
NORTHEAST BOLT ON NORTHEAST COLUMN OF BUILDING A. 30' NORTH OF NORTHEAST BUILDING CORNER AND 1300' EAST OF CENTER LINE OF ARTESIAN STREET.  
ELEVATION - 628.62

BM 350  
"4" ON TOP OF LIGHT POLE CONCRETE BASE. LIGHT IS 45'± NORTHWEST OF CORNER OF THE MAIN BUILDING ON THE SUBJECT PROPERTY.  
ELEVATION - 628.86

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
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**ABBREVIATIONS**

T/C = TOP OF CURB      G = GUTTER GRADE  
T/P = TOP OF PAVEMENT      FG = FINISH GRADE  
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T/W = TOP OF WALL      B/W = BOTTOM OF WALL

REFER TO GRADING NOTES ON SHEET C-4.2.

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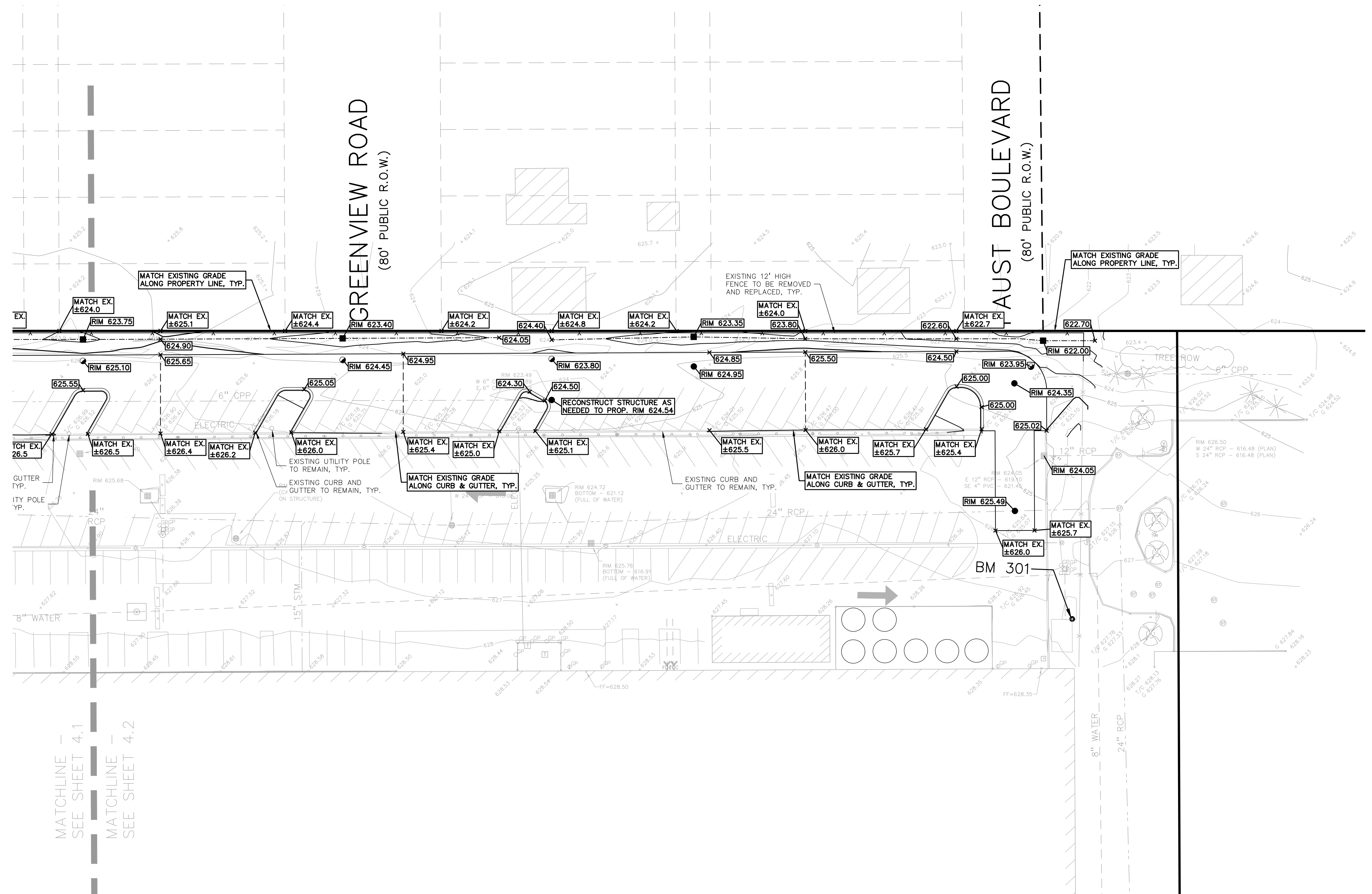
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NORTH

0 25 50 100  
SCALE: 1" = 80'

**811 Know what's below. Call before you dig.**

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CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

ORIGINAL ISSUE DATE:  
AUGUST 29, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN - 2**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	DLB
DES.	DLB

DRAWING NUMBER:

NOT FOR CONSTRUCTION

**C-4.2**

S:\PROJECTS\2023\03-0789 DMS PARKING IMPROVEMENTS\DWG\23-DT\_P1\_A\1(C-4)GRADE-23-0789.dwg PLOT DATE: 9/8/2023 8:10:00 AM



**GENERAL UTILITY NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH GRANULAR FILL COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

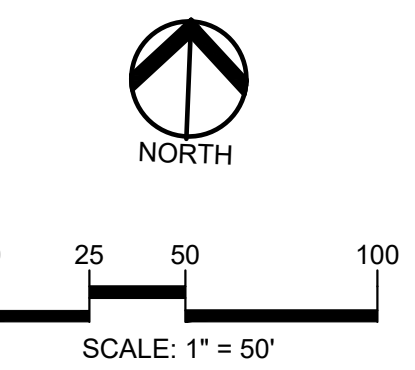
**STORM SEWER NOTES:**

1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE HDPE DUAL WALL SMOOTH INTERIOR PIPE (HDPE) WITH REINFORCED INTEGRAL BELL AND GASKETED SPIGOT, COMPLYING WITH ASTM F2306, F2648 & D3212.
2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26 COMPLYING WITH ASTM D3034.
4. JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION F477.

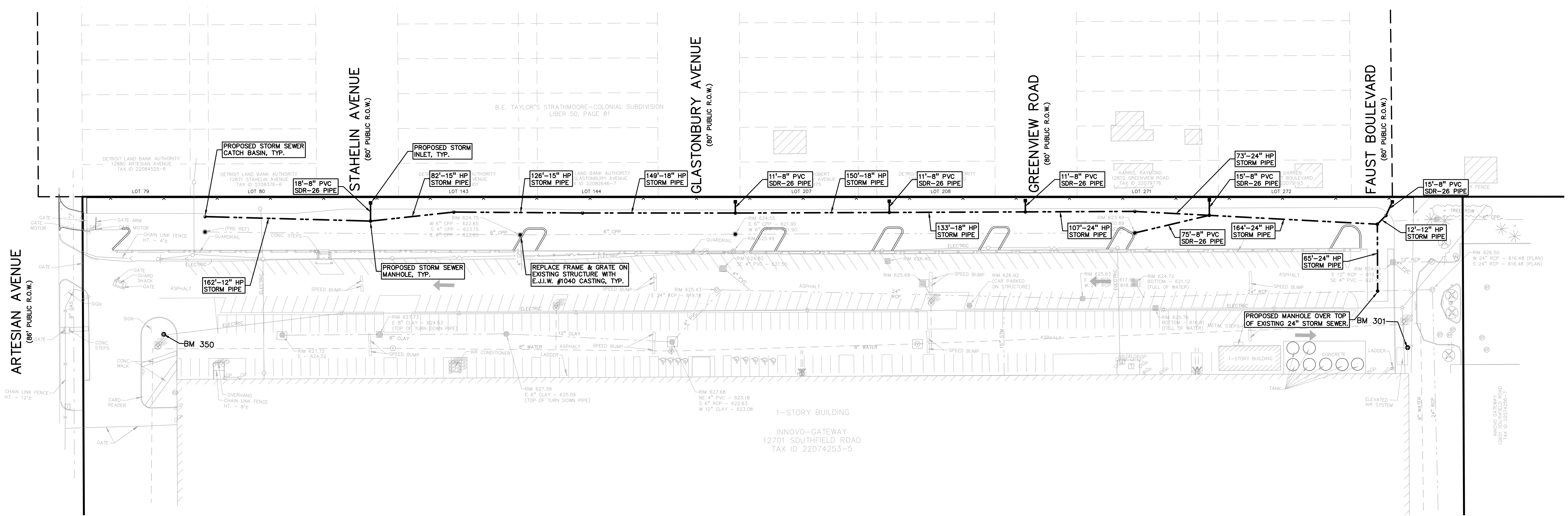
# ALTERNATIVE ENGINEERED DESIGN

**UTILITY LEGEND:**

—OH—ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG—CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG—COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG—ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊕	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊕	EX. WATER VALVE BOX & SHUTOFF
⊕	EX. SANITARY SEWER
⊕	EX. SANITARY CLEANOUT & MANHOLE
⊕	EX. COMBINED SEWER MANHOLE
⊕	EX. STORM SEWER
⊕	EX. CLEANOUT & MANHOLE
⊕	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊕	EX. YARD DRAIN & ROOF DRAIN
⊕	EX. UNIDENTIFIED STRUCTURE
—	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT AND GATE VALVE
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
⊕	PROPOSED SANITARY SEWER
⊕	PROPOSED SANITARY CLEANOUT & MANHOLE
⊕	PROPOSED STORM SEWER
⊕	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊕	PROPOSED CATCH BASIN, INLET & YARD DRAIN



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CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

**REVISIONS**

OWNER REVIEW	9/11/23
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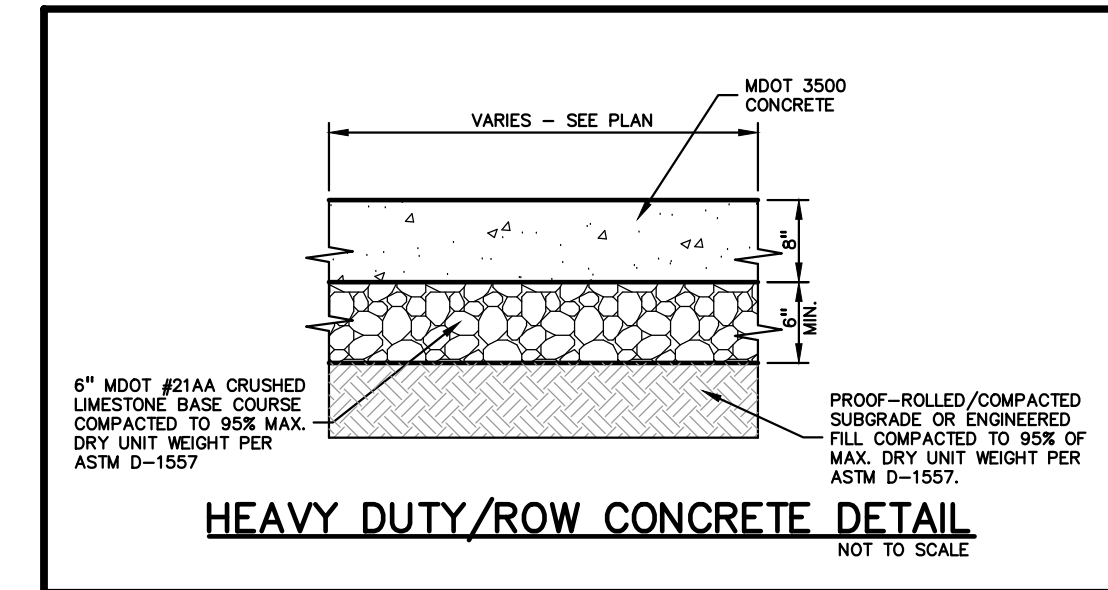
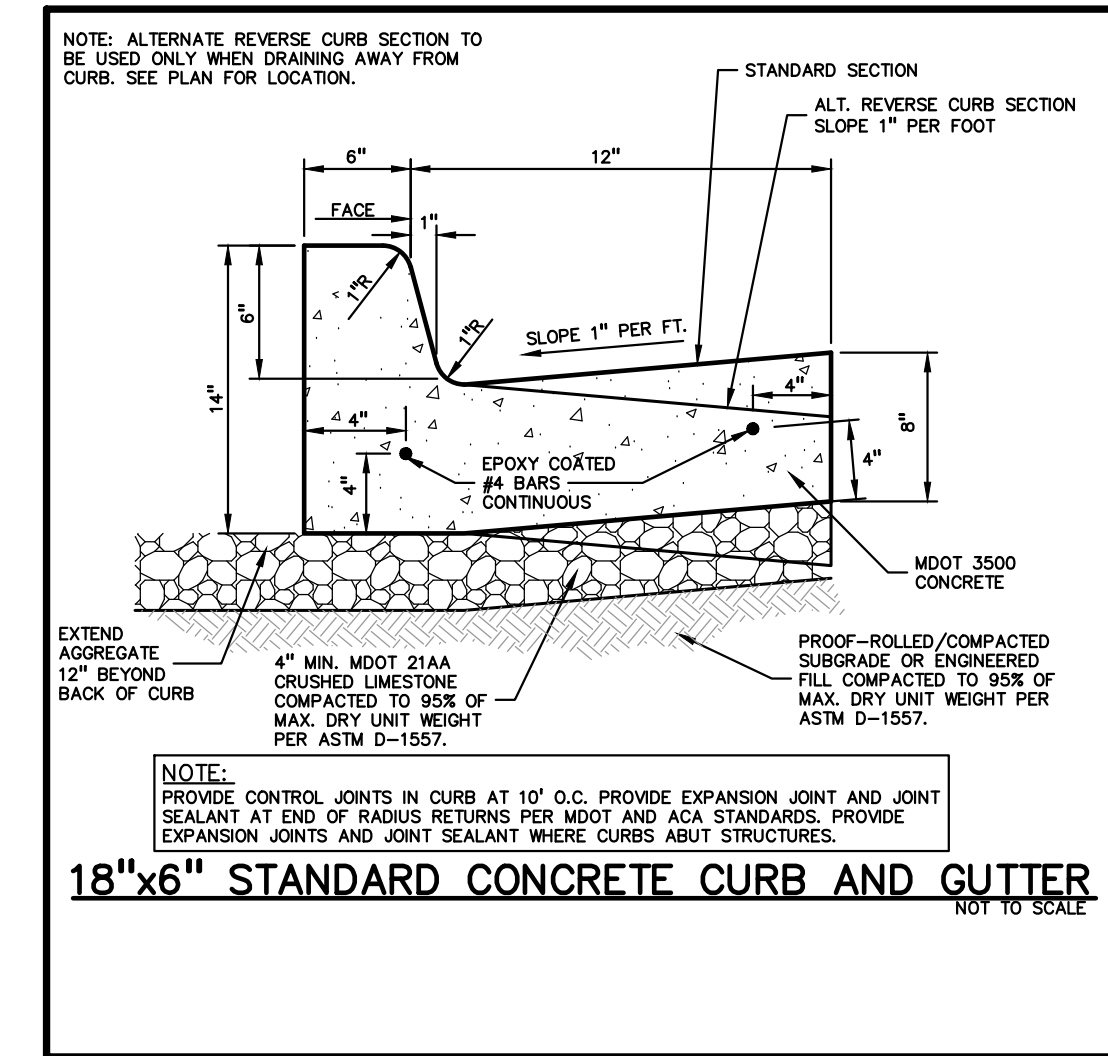
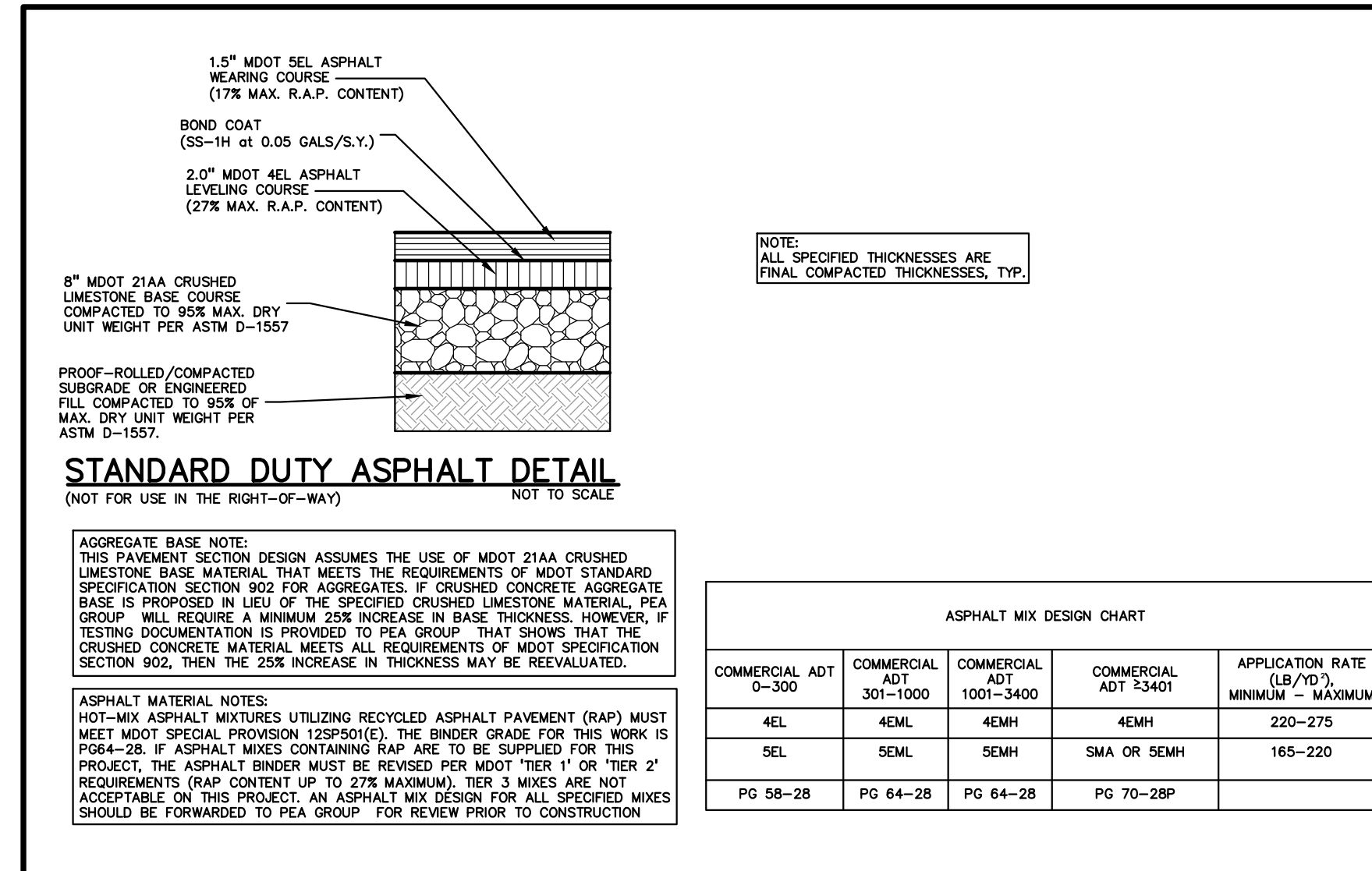
ORIGINAL ISSUE DATE:  
AUGUST 29, 2023  
DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	DLB
DES.	DLB
DRAWING NUMBER:	

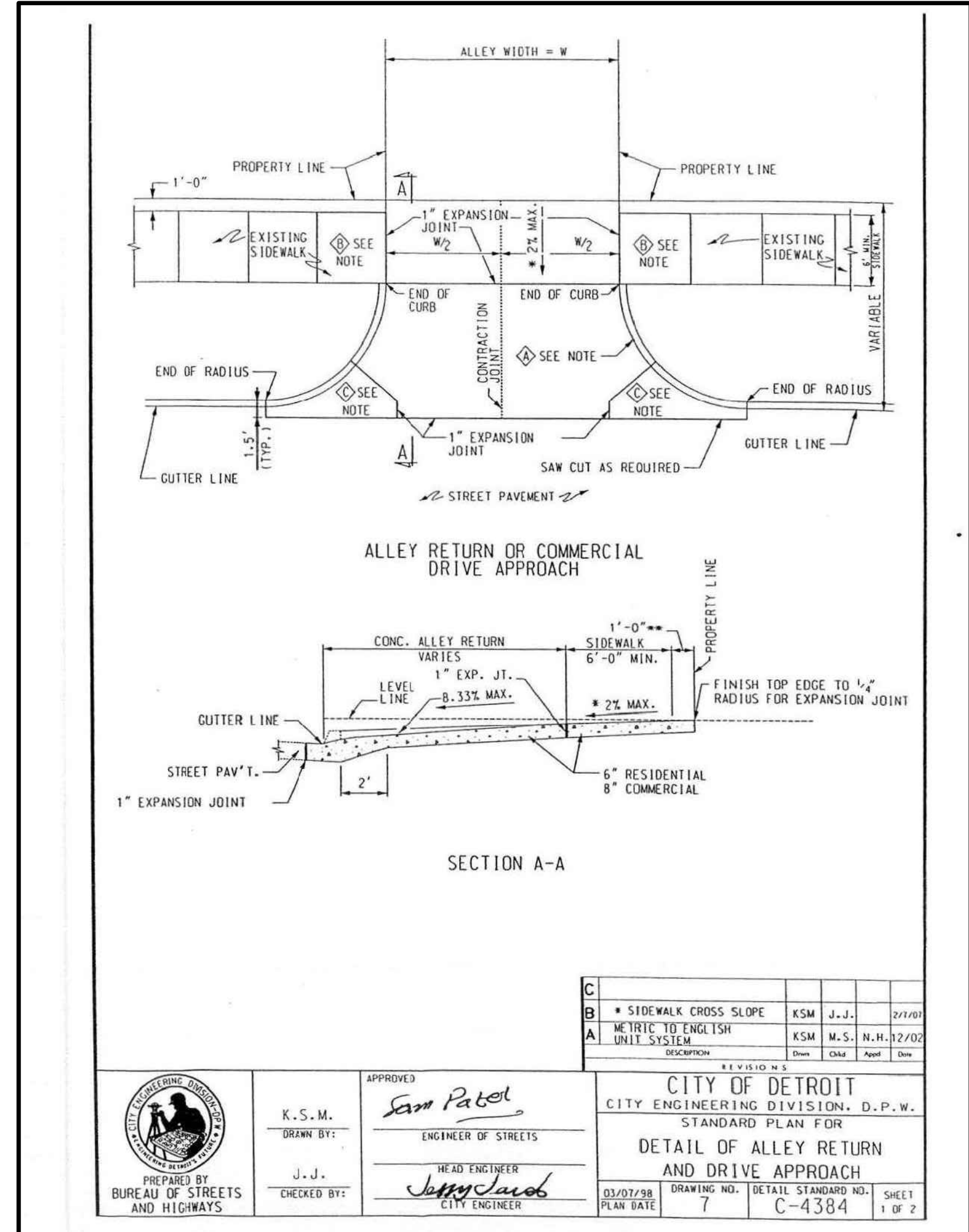
S:\PROJECTS\2023\03-0789\_DMS PARKING IMPROVEMENTS\DWG\_2\_P\AN\IC-5\01\1-25-0789.dwg PLOT DATE: 9/18/2023 BY: Doug Brewer

**GENERAL NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF DETROIT ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
  - ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
  - CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
  - THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
- PAVING NOTES:**
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
  - REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
  - CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
  - ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
  - CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/2" TO ALLOW FOR SEALING.
    - WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" DOWELS EVERY 30' CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWELS SIZES AND SPACING MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
    - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT.
    - CONTROL, LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
      - 6- INCH THICK CONCRETE PAVEMENT: 12' X 12'
      - 8- INCH THICK CONCRETE PAVEMENT: 15' X 15'
    - IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
    - IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
    - JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT
      - PLACE CONTRACTION JOINTS AT 10' INTERVALS
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT:
        - AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
        - AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
        - AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
    - JOINTS WHEN TIED TO CONCRETE PAVEMENT
      - PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
      - CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
    - IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
      - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
      - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
  - CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
    - PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
    - PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
    - PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
    - PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
    - PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS



COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 3500	APPLICATION RATE (LB/SY) MINIMUM - MAXIMUM
4EL	4EML	4EMH	4EMH	220-275
5EL	5EML	5EMH	SMA OR 5EMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	



**CITY OF DETROIT**  
CITY ENGINEERING DIVISION - D.P.W.  
STANDARD PLAN FOR  
DETAIL OF ALLEY RETURN AND DRIVE APPROACH

APPROVED: *Sam Patel*  
ENGINEER OF STREETS

DRAWN BY: *Jeff Jacob*  
CITY ENGINEER

PREPARED BY: *Jeff Jacob*  
CITY ENGINEER

B	* SIDEWALK CROSS SLOPE	KSM	J.-J.	2/1/03
	METRIC TO ENGLISH UNIT SYSTEM	KSM	M.S.	N.H. 2/2/02

DATE: 03/20/23  
DRAWING NO.: C-4384  
SHEET 1 OF 2

CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS

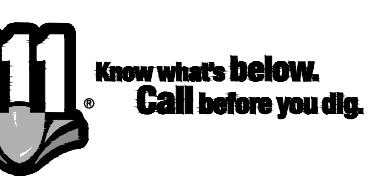
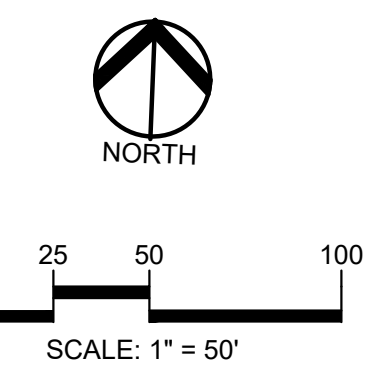
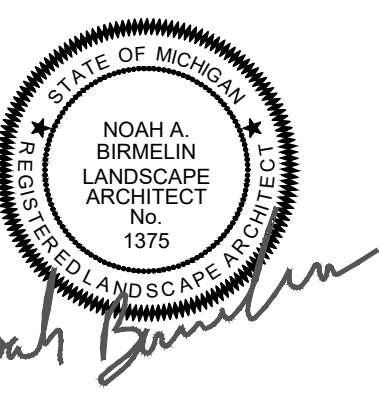
OWNER REVIEW	9/11/23
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ORIGINAL ISSUE DATE: AUGUST 29, 2023

DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	23-0789
P.M.	MRM
DN	DLB
DES.	DLB
DRAWING NUMBER:	

S:\PROJECTS\2023\03-0789-DMS PARKING IMPROVEMENTS\MDOT-BIT\_PLAN\C6-00DETAILS-23-0789.dwg PLOT DATE: 9/16/2023 BY: Doug Bhamer



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**INNOVO DEVELOPMENT GROUP**  
1321 S. WESTNEDGE AVENUE  
KALAMAZOO, MICHIGAN 49008

PROJECT TITLE  
**DMS PARKING IMPROVEMENTS**  
12701 SOUTHFIELD ROAD  
DETROIT, MICHIGAN

REVISIONS	
OWNER REVIEW	9/11/23

ORIGINAL ISSUE DATE:  
AUGUST 29, 2023  
DRAWING TITLE  
**LANDSCAPE PLAN**

PEA JOB NO.	23-0789
P.M.	MRM
DN.	BZ
DES.	NB
DRAWING NUMBER:	

**KEY:**

- = DECIDUOUS TREES
- = EVERGREEN BUFFER TREES
- = IRRIGATED SEEDED LAWN
- = NON-IRRIGATED SEED LAWN
- = SHRUBS

LETTER DESIGNATION FOR ORDINANCE REQUIRED MATERIAL

- P = PARKING LOT TREES
- R = R.O.W. TREES

SEE L-2.0 FOR LANDSCAPE DETAILS

**LANDSCAPE CALCULATIONS:**  
PER CITY OF DETROIT ZONING ORDINANCE

**RIGHT OF WAY TREES**  
REQUIRED: 1 TREE/ 30 LF OF R.O.W. 35/ 30 = 1 TREES  
PROVIDED: 1 PROPOSED TREE

**PARKING LOT SCREENING**  
REQUIRED: 30"-36" HT. SCREENING HEDGE MIN. 5' FOR PERSONAL PARKING  
PROVIDED: 7 EVG SHRUBS

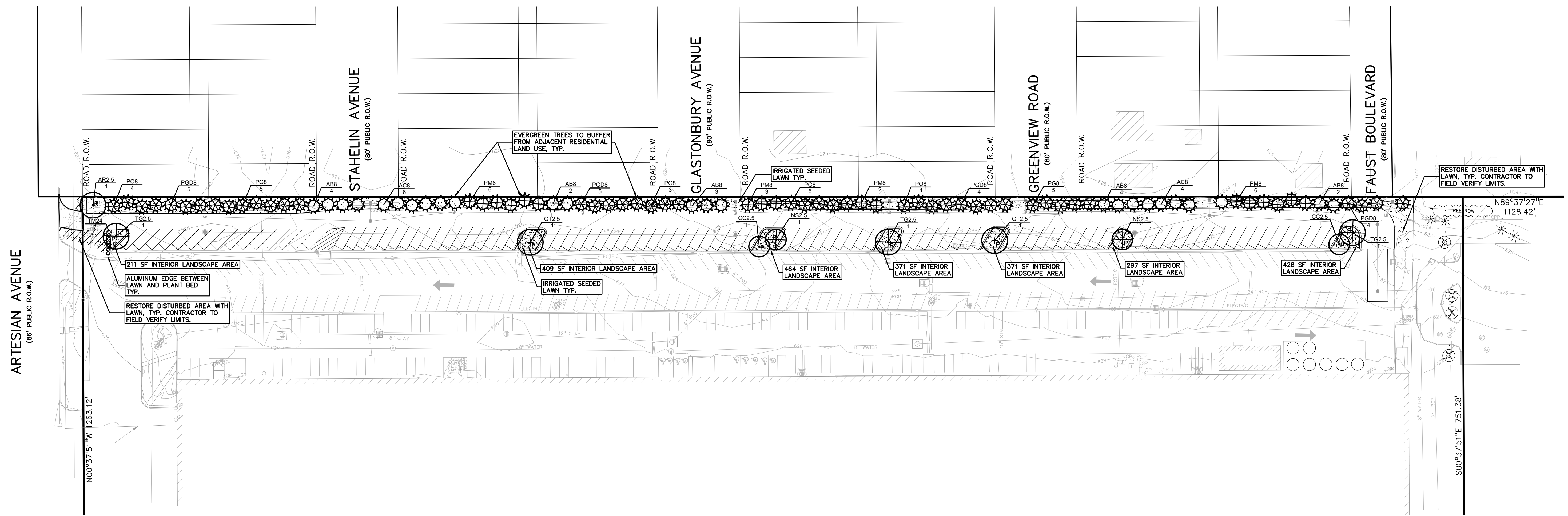
**PARKING LOT LANDSCAPE**  
REQUIRED: 22 SF LANDSCAPE AREA PER SPACE (7' IN ANY DIRECTION & 150 SF MIN.)  
98 NEW SPACES \* 22 SF = 2,156/ 250 = 9 TREES  
PROVIDED: 2,551 SF OF INTERIOR LANDSCAPE AREA AND 9 TREES

**PLANT\_SCHEDULE\_L-1.0**

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
AR2.5	1	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	2.5" CAL.	B&B	PER PLAN	
CC2.5	2	CERCIS CANADENSIS / EASTERN REDBUD	2.5" CAL.	B&B	PER PLAN	
GT2.5	2	GLEITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	B&B	PER PLAN	
NS2.5	2	NYSSA SYLVATICA / TUPELO	2.5" CAL.	B&B	PER PLAN	
TG2.5	3	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	2.5" CAL.	B&B	PER PLAN	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
AB8	15	ABIES BALSAMEA / BALSAM FIR	8" HT.	B&B	PER PLAN	
AC8	10	ABIES CONCOLOR / WHITE FIR	8" HT.	B&B	PER PLAN	
PG8	18	PICEA GLAUCA / WHITE SPRUCE	8" HT.	B&B	PER PLAN	
PGD8	18	PICEA GLAUCA 'DENSATA' / BLACK HILLS SPRUCE	8" HT.	B&B	PER PLAN	
PO8	8	PICEA OMORIKA / SERBIAN SPRUCE	8" HT.	B&B	PER PLAN	
PM8	17	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8" HT.	B&B	PER PLAN	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
TM24	7	TAXUS X MEDIA 'DENSIFORMIS' / DENSE ANGLO-JAPANESE YEW	24" HT.	CONT.	42" O.C. 42" o.c.	

**GENERAL PLANTING NOTES:**

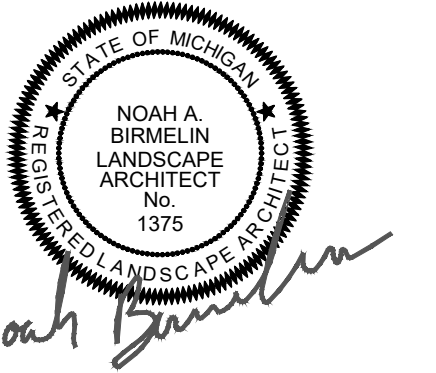
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT TO INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.



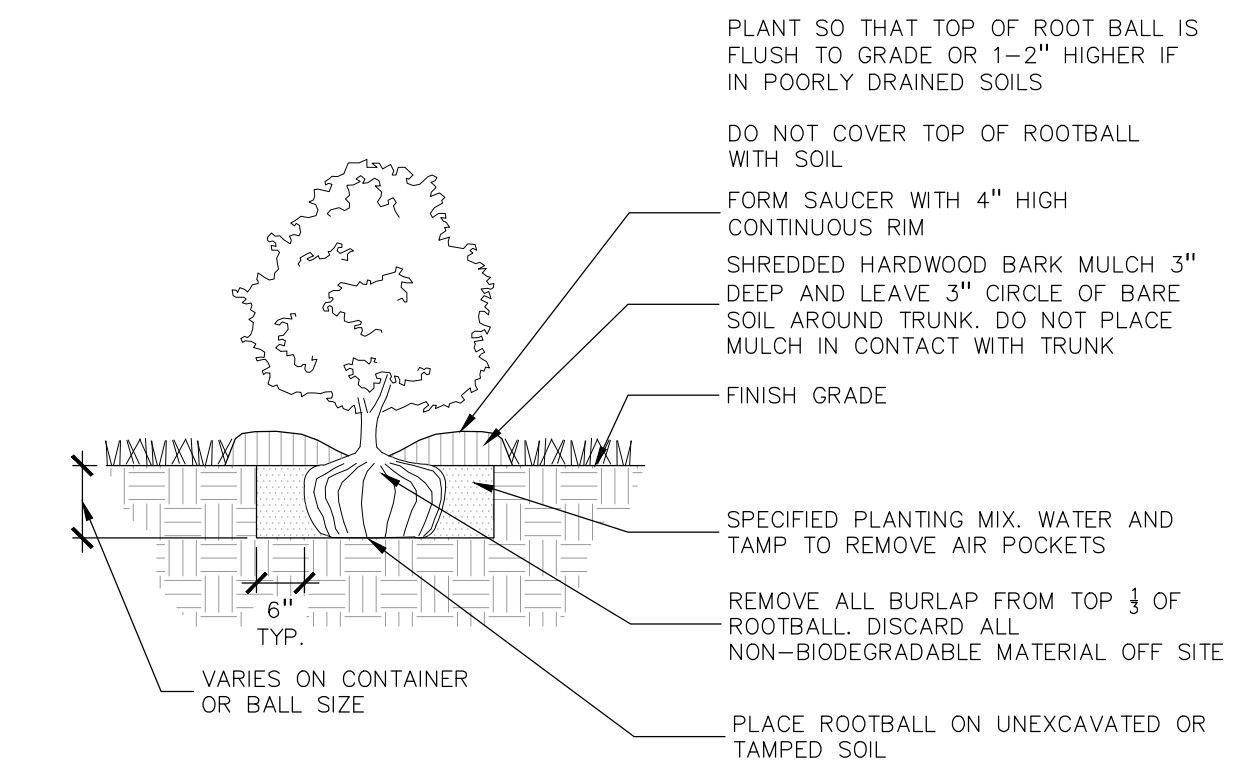
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**L-1.0**

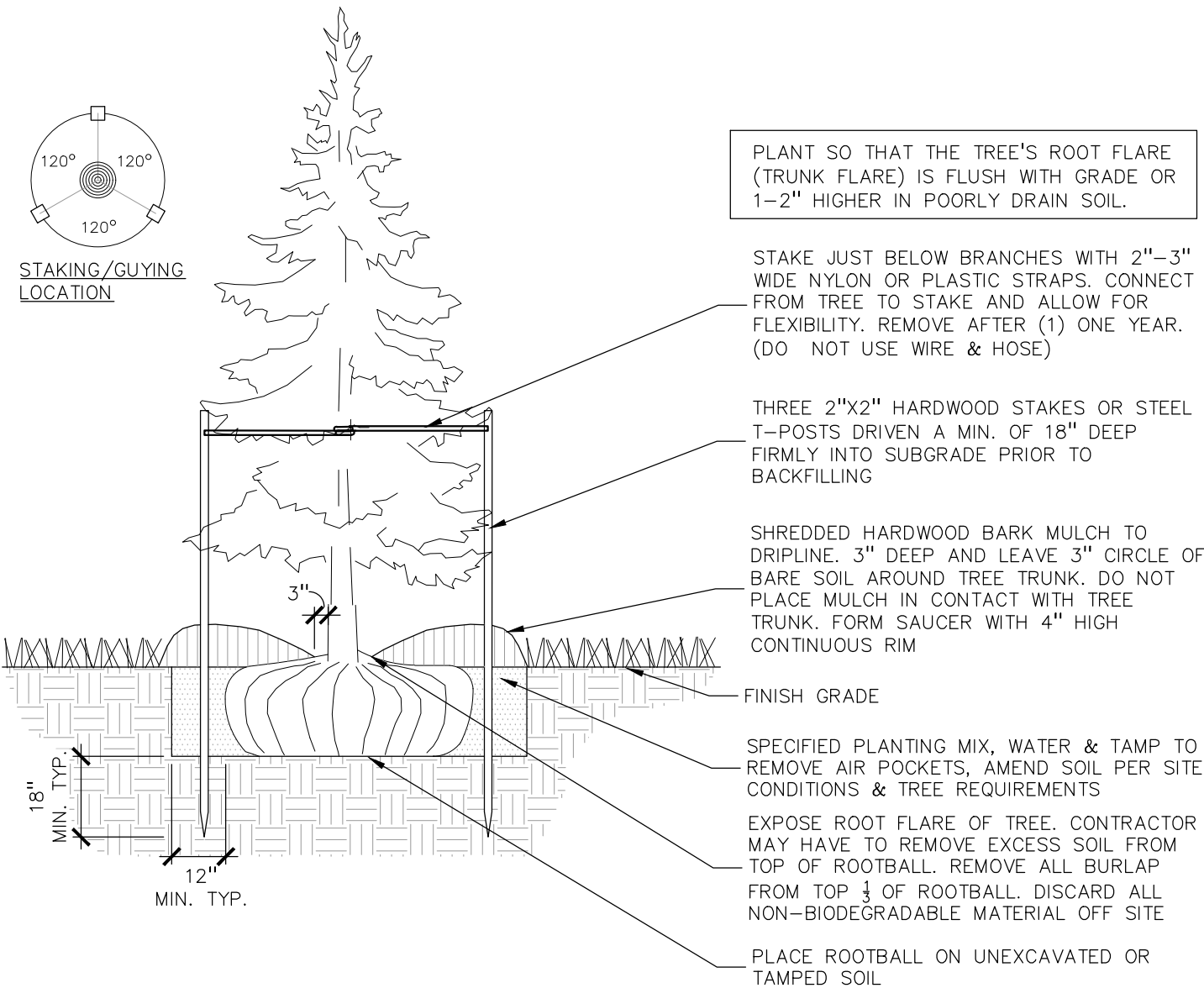
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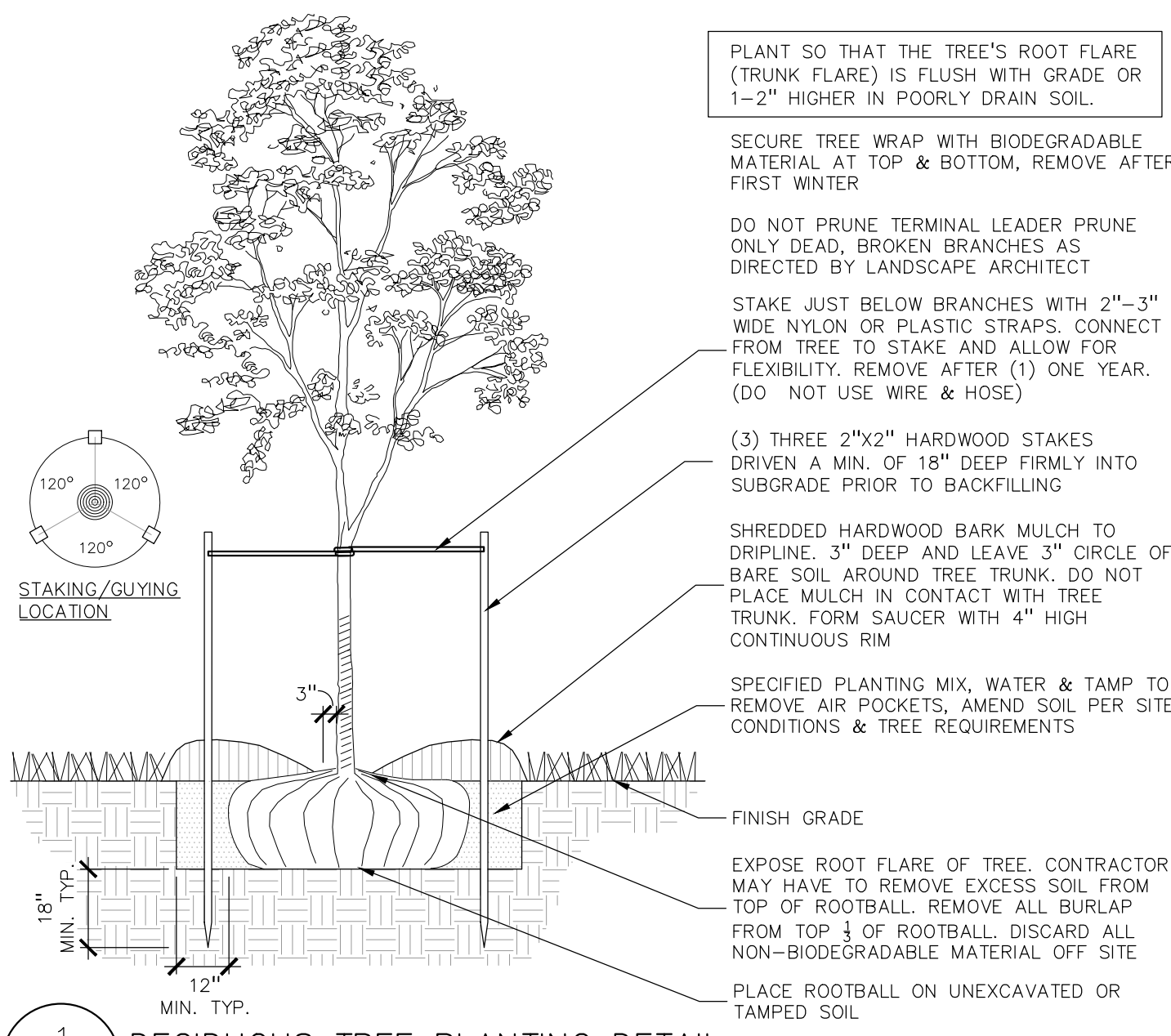
*Noah Birmelin*



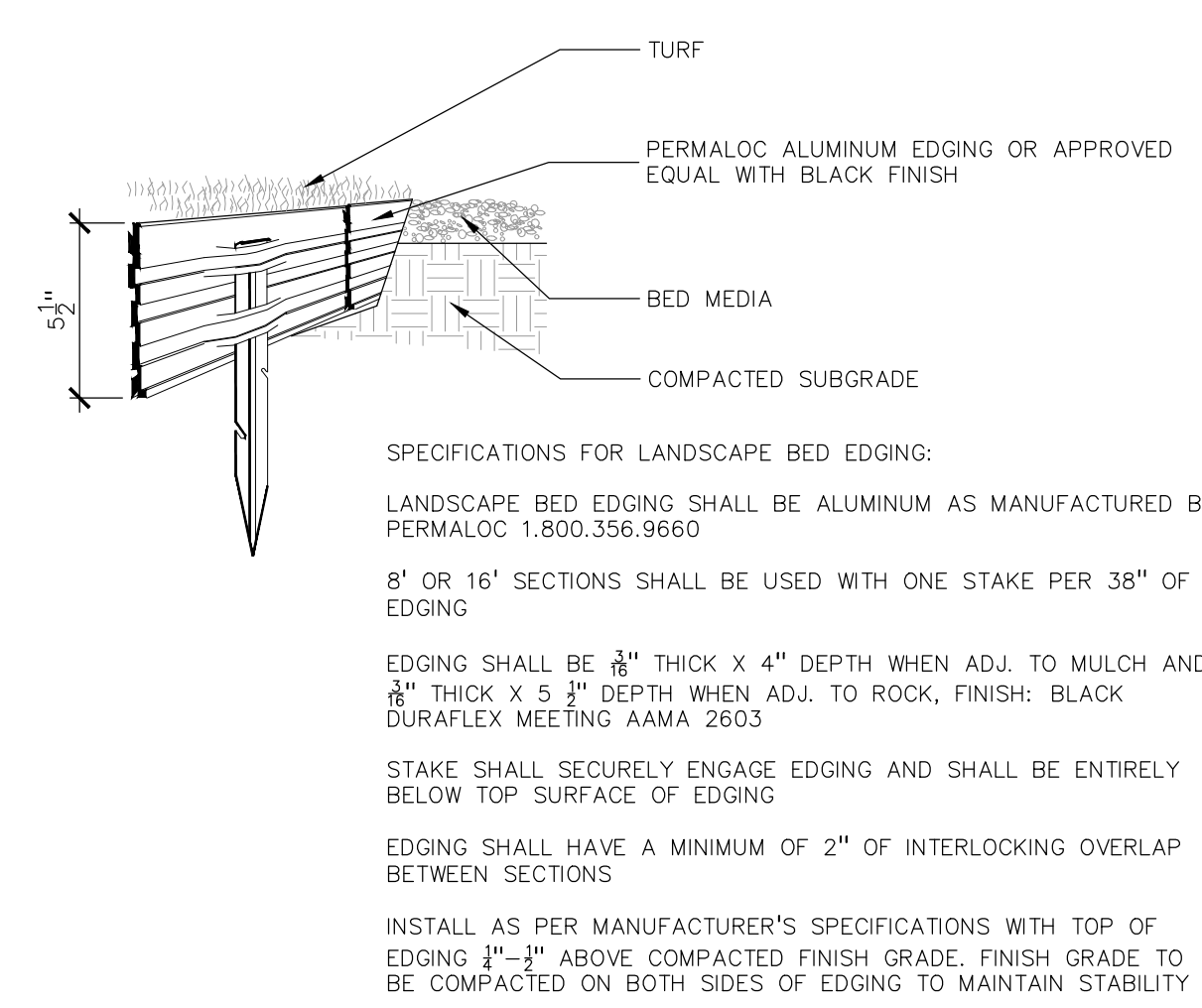
**3 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**4 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



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**LANDSCAPE DETAILS**

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\\peagroup.com\PROJECTS\2023\23-0789\_DMS\_Parking IMPROVEMENTS\DWG\L25\_LANDSCAPE DETAILS-23-0789.DWG PLOT DATE: 9/12/2023 BY: BNM, ZHONG